



NEW TOWN

DESIGN RATIONALE

FAMILY TOWNHOME HOUSING

920 Rutland Road



PROPOSAL

This application is to construct a 6-unit enclave of townhomes a few blocks West of the Rutland Recreation Park, and about 200m North of Rutland Middle School. This mid-block site is zoned MF1 and currently hosts a single-family home built in 1944. The site is proposed to remain MF1, consistent with the Core Area Neighborhood Land use designation.



Figure 1: Site location.

ARCHITECTURE FORM & CHARACTER



These 3-storey buildings have a distinctly modern residential personality. The massing is articulated with simple and effective uses of varied cladding materials with a particular design focus on street facing elevations. A street-facing entry from Rutland Road animates the pedestrian realm, while robust landscaping consisting of trees/shrubs delineates the boundary between public and private space.

The onsite amenity space aligns along a backyard walkway. This at-grade amenity space is augmented by patio spaces on both the 2nd and 3rd floors of each home for residents to enjoy.



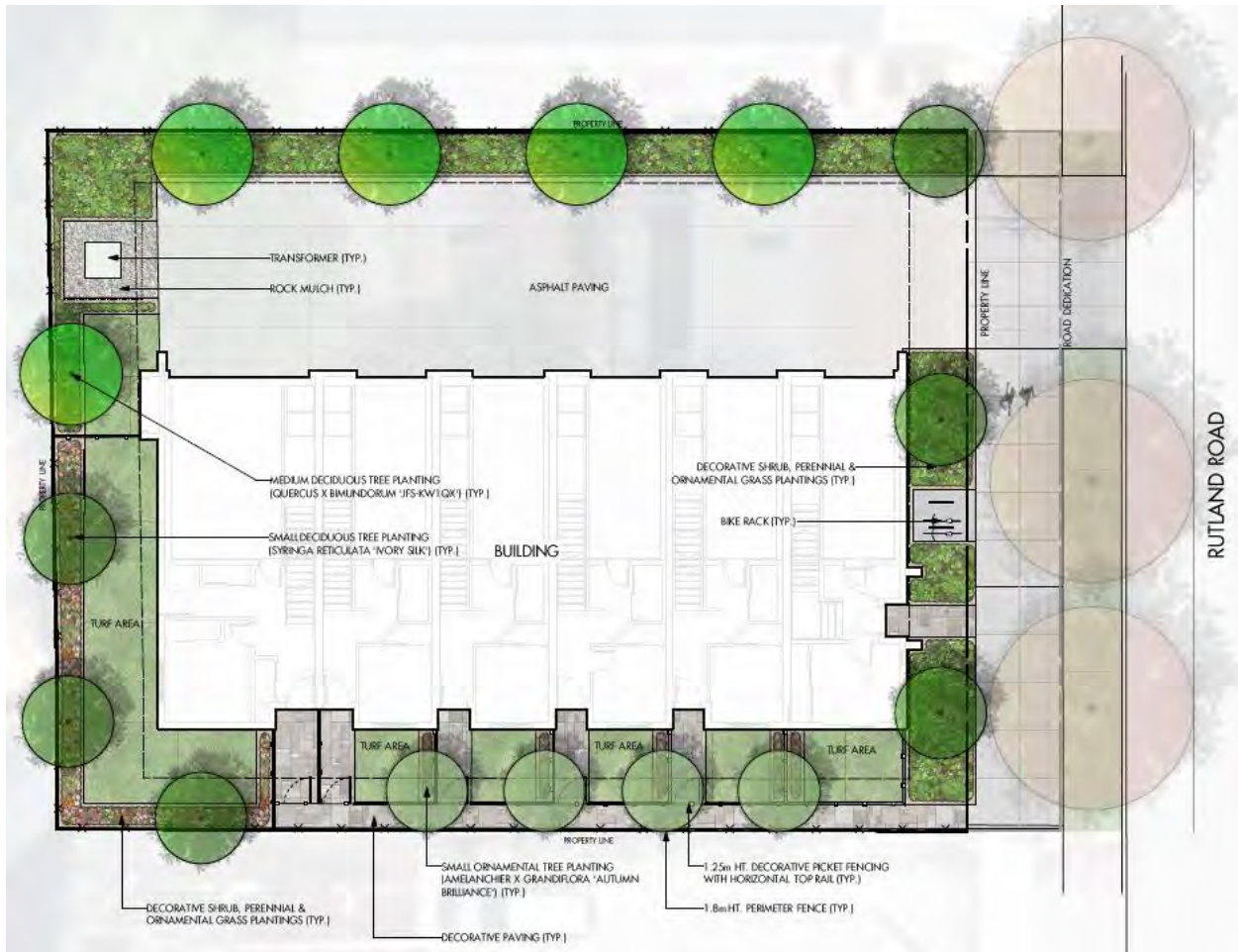


Figure 2: Landscape Plan

TEXT AMENDMENT

A minor text amendment application is required, as the lot area of the site (770sqm) does not comply with the bylaw requirement of 1600sqm for developments located on a Transit Supportive Corridor. Note that a lot assembly to increase the property size is not viable, as newer developments have been constructed on both the property to the North (2016) and the property to the South(2013).



Figure 3: 940 Rutland Rd.

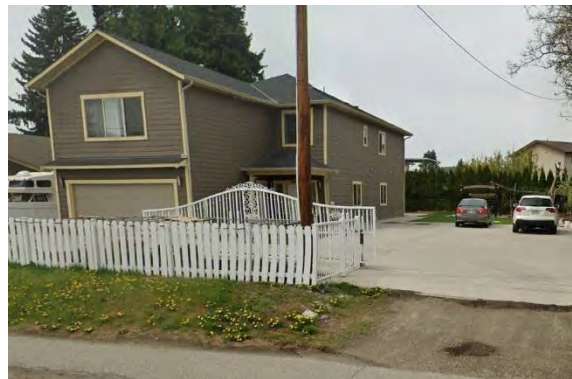


Figure 4: 910 Rutland Rd.

SUMMARY

This development is a key housing component to be added within the context of North Rutland. It complies with the zoning bylaw in all aspects, follows the OCP guidelines for appropriate development and delivers 6 much needed ground-oriented homes on an infill lot. We kindly seek support from staff and Council in this endeavor.



RUTLAND 6-PLEX

DEVELOP. PERMIT, 2024-05-31



ARCHITECTURAL

NEW TOWN ARCHITECTURE & ENGINEERING
 300-1650 BERTRAM STREET
 KELOWNA, BC V1Y 2G4
 e: usman@newtownservices.net t: (250) 860-8185

- A0.000 COVER PAGE
- A1.01D ZONING & BYLAW
- A1.02D CODE SITE PLAN
- A2.01D SITE PLAN
- A3.01D LEVEL 1 FLOOR PLAN
- A3.02D LEVEL 2 FLOOR PLAN
- A3.03D LEVEL 3 FLOOR PLAN
- A3.04D ROOF PLAN
- A4.00D MATERIALS
- A4.01D BUILDING ELEVATIONS
- A4.02D BUILDING ELEVATIONS
- A8.01D FRONT UNIT FLOOR PLANS
- A8.02D TYPICAL UNIT FLOOR PLANS
- A8.03D REAR UNIT FLOOR PLANS
- A9.01D RENDERINGS

CLIENT

PROJECT DOORS & MOULDINGS LTD.
 UNIT 1-2592 MOUNT LEHMAN RD
 ABBOTSFORD, BC V4X 2N3
 e: Sukhbir@projectdoors.ca t: (604) 850-3006

LANDSCAPE

ECORA
 #200, 2045 ENTERPRISE WAY
 KELOWNA, BC V1Y 9T5
 e: achim.muller@ecora.ca t: (250) 300-8750

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Revisions

No.	DATE	ISSUED FOR
1	2024-05-31	DEVELOP. PERMIT

PRINT IN COLOUR

project title
 920 RUTLAND ROAD

project address
 920 RUTLAND ROAD
 KELOWNA, BC V1X 3B7

project no. 4194

drawing title
 COVER PAGE

designed DR scale
 drawn DR
 checked UA

drawing no. **A0.00D**
 plotted 5/30/24 3:09:56 PM

PROJECT NAME

ADDRESS:
920 RUTLAND ROAD N, KELOWNA, V1X 3B7, BRITISH COLUMBIA, CANADA

LEGAL ADDRESS:
LOT 7, PLAN No. KAP44228; ROLL 6224352

GRADES:
EXISTING: SMALL DECLINE TO SW CORNER
PROPOSED: FLAT

NUMBER OF BUILDINGS:
1 BUILDINGS (6 UNITS) 5x 3-BED TOWNHOUSE
1x 4-BED TOWNHOUSE

ZONING ANALYSIS

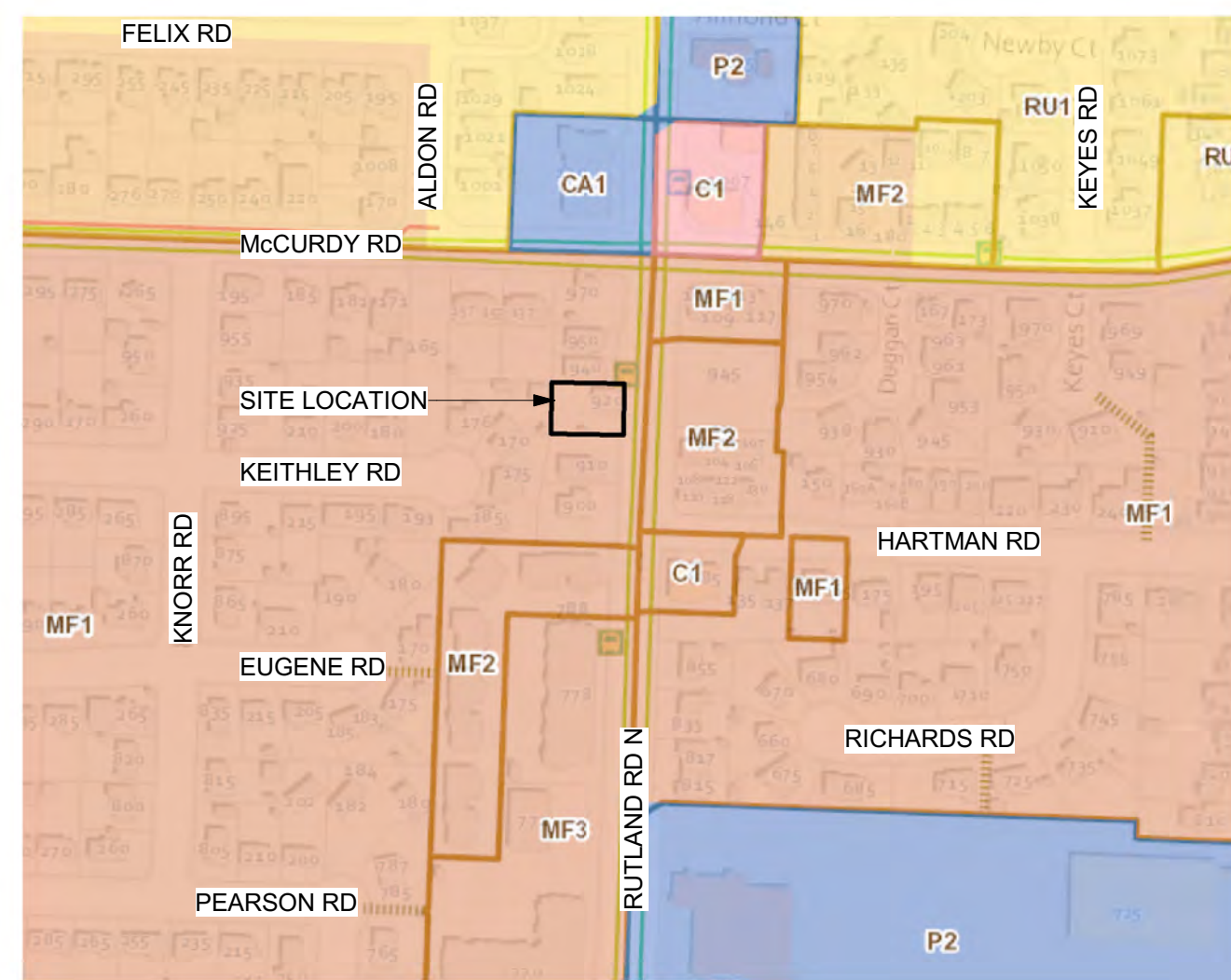
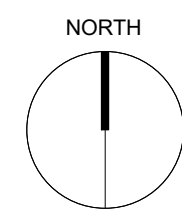
EXISTING: MF1 - INFILL HOUSING	PROPOSED: MF1 - INFILL HOUSING
FUTURE LAND USE (2040 OCP)	C-NHD (CORE AREA NEIGHBOURHOOD)
TRANSIT SUPPORTED CORRIDOR	Y
ADJACENT LAND USES:	ZONE
NORTH RU4	LOW DENSITY CLUSTER HOUSING
SOUTH RU1	LARGE LOT HOUSING
EAST N/A	N/A
WEST RU1	LARGE LOT HOUSING

MF1 ZONING REQUIREMENTS

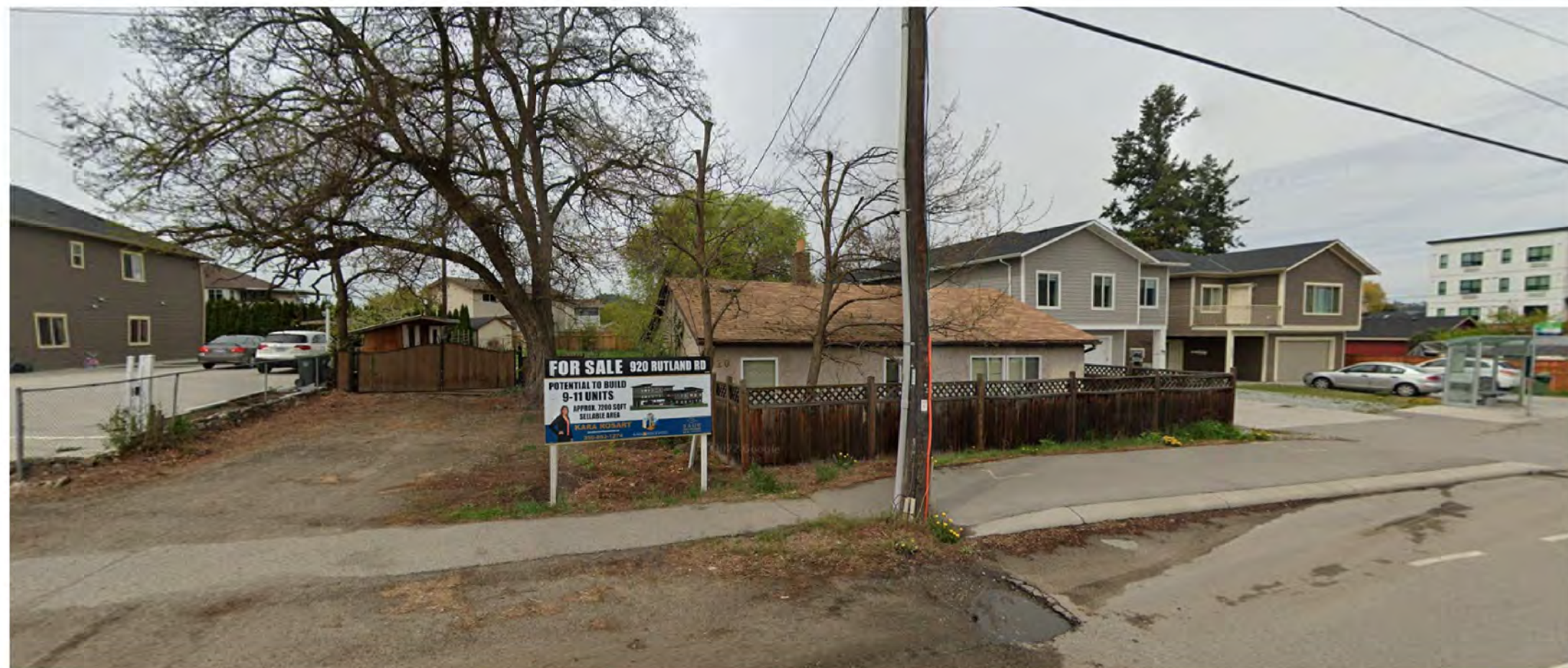
	REQUIRED:	PROPOSED:
SITE AREA (m²)	350.0m ² 1600.0m ² (FRONTING TRANSPORT CORR.) <small>TEXT AMENDMENT REQUIRED</small>	770.69m ² (848.40m ² PRE-DEDICATION)
SITE WIDTH (m)	13.0m	24.26m
SITE DEPTH (m)	27.0m	34.83m
MIN. BUILDING ENEVELOPE AREA (m²)	140.0m ²	552.92m ²
MAXIMUM SITE COVERAGE OF BUILDINGS (%)	55.0%	40.31%
MAXIMUM SITE COVERAGE OF IMPERMEABLE SURFACES (%)	75.0%	71.98%
VEHICULAR ACCESS FROM LANE OR LOWER CLASSED ROAD	N	N
MINIMUM DENSITY (TRANSIT CORRIDOR ONLY)	3.1 UNITS PER 1,000m ²	6 UNITS ON 770m ²

DEVELOPMENT REQUIREMENTS

	REQUIRED:	PROPOSED:
TOTAL NUMBER & TYPES OF UNITS:	6 UNITS	5x 3-BED TOWNHOUSE 1x 4-BED TOWNHOUSE
FLOOR AREA (GFA/NFA)(m²):	N/A	826.80m ²
FLOOR AREA RATIO:	6 DWELLINGS MAXIMUM	6 DWELLINGS
BUILDING HEIGHT (m):	11.0m (3 STOREYS)	10.2m (3 STOREYS)
MAX. CONTINUOUS FRONTAGE:	100.0m	13.2m
SETBACKS (m):		
FRONT (EAST)	2.0m	2.1m
SIDE A (NORTH)	1.8m	7.7m
SIDE B (SOUTH)	1.8m	3.5m
BACK (WEST)	3.0m	3.0m
REAR SETBACK TO ACCESSORY BUILDINGS	N/A	N/A
AMENITY SPACE (m²):		
COMMON AREA	N/A	N/A
PRIVATE AREA	N/A	147.10m ²
PER LEVEL:		
LEVEL 1	N/A	113.90m ²
LEVEL 2	N/A	19.19m ²
LEVEL 3	N/A	14.00m ²
TOTAL	N/A	147.10m²
PARKING STALLS:		
3-BED (1.0 x 5)	5	5
4-BED (1.0 x 1)	1	1
VISITOR (N/A x 5)	0	0
TOTAL	6	6
ACCESSIBLE (5-36)	1	1
EV PARKING (1.0 x 6)	6	6
DRIVE AISLE (WIDTH)	6.5m	6.5m
DRIVE AISLE GRADE	8%	1%
REGULAR STALL RATIO	100%	100%
LOADING	N/A	N/A
BIKE STALLS (PER DWELLING UNIT):		
LONG TERM - N/A	0	0
SHORT TERM - 4.0	4	4
TOTAL	4	4
END OF TRIP FACILITY	N	N
WASH & REPAIR STATION	N	N



CURRENT ZONING & FUTURE USE PLAN



GOOGLE STREET VIEW #1 - FROM (STREET NAME) LOOKING (DIRECTION)



GOOGLE STREET VIEW #2 - FROM (STREET NAME) LOOKING (DIRECTION)



GOOGLE STREET VIEW #3 - FROM (STREET NAME) LOOKING (DIRECTION)

BUILDING CODE REVIEW - PART 9

DESCRIPTION	NEW BUILDING	PART 9
OCCUPANCY	GROUP C	9.10.2.
BUILDING AREA	267.58m ²	
# OF STOREYS	ABOVE GRADE - 3 STOREYS	
# OF STREETS FACING	1	9.10.20.
BUILDING CLASSIFICATION	C-RESIDENTIAL	TABLE 9.10.2.1.
SPRINKLERED	NO	9.10.1.3.(8) TABLE 9.10.8.1.
STANDPIPE REQUIRED	NO	9.10.1.3.(9)
FIRE ALARM REQUIRED	NO	9.10.18.2.
SMOKE ALARM REQUIRED	YES	9.10.19.1.
CARBON MONOXIDE ALARM REQUIRED	YES	9.32.4.2.(5) b)
CONSTRUCTION TYPE	PERMITTED: COMBUSTIBLE ACTUAL: COMBUSTIBLE	9.10.6.
MEZZANINE/S AREA	N/A	9.10.4.1.
BARRIER FREE DESIGN	NO	9.5.2. / 3.8.2.1.
HAZARDOUS SUBSTANCES	YES	9.10.1.3.(4)
ASSEMBLY RATINGS:		
FLOORS	45min	9.10.8.1.
NON-LOAD BEARING WALLS	N/A	9.10.8.3.
LOAD BEARING WALLS/COLUMNS/ARCHES	45mn	9.10.8.3.
ROOFS	N/A	9.10.8.1.

SPATIAL SEPARATION - FRONT TABLE 9.10.15.4.

		NORTH	EAST	SOUTH	WEST
WALL AREA	NOTE: WINDOW OPENINGS AND WALL CONSTRUCTION ARE UN-RESTRICTED, AS THE LIMITING DISTANCE EXCEEDS 9.0m IN ALL CASES, OR THE BUILDING IS FACING A STREET IN ACCORDANCE WITH ARTICLE 3.2.3.10.	47.72m ²	144.45m ²	47.72m ²	N/A
OPENING AREA		12.41m ²	13.07m ²	8.25m ²	N/A
% PERMITTED		93.5%	92.0%	23.5%	N/A
LIMITING DISTANCE		7.7m	16.0m	3.5m	N/A
% PROVIDED		26.01%	9.05%	17.29%	N/A
CONST. TYPE		COMB	COMB	COMB	N/A
CLADDING MATERIAL		NON-COMB	NON-COMB	NON-COMB	N/A
REQUIRED RATING		1HR	1HR	1HR	N/A

SPATIAL SEPARATION - TYPICAL TABLE 9.10.15.4.

		NORTH	EAST	SOUTH	WEST
WALL AREA	NOTE: WINDOW OPENINGS AND WALL CONSTRUCTION ARE UN-RESTRICTED, AS THE LIMITING DISTANCE EXCEEDS 9.0m IN ALL CASES, OR THE BUILDING IS FACING A STREET IN ACCORDANCE WITH ARTICLE 3.2.3.10.	41.40m ²	N/A	41.40m ²	N/A
OPENING AREA		12.41m ²	N/A	8.80m ²	N/A
% PERMITTED		93.5%	N/A	23.5%	N/A
LIMITING DISTANCE		7.7m	N/A	3.5m	N/A
% PROVIDED		29.98%	N/A	21.25%	N/A
CONST. TYPE		COMB	N/A	COMB	N/A
CLADDING MATERIAL		NON-COMB	N/A	NON-COMB	N/A
REQUIRED RATING		1HR	N/A	1HR	N/A

SPATIAL SEPARATION - REAR TABLE 9.10.15.4.

		NORTH	EAST	SOUTH	WEST
WALL AREA	NOTE: WINDOW OPENINGS AND WALL CONSTRUCTION ARE UN-RESTRICTED, AS THE LIMITING DISTANCE EXCEEDS 9.0m IN ALL CASES, OR THE BUILDING IS FACING A STREET IN ACCORDANCE WITH ARTICLE 3.2.3.10.	62.37m ²	N/A	62.37m ²	144.45m ²
OPENING AREA		18.17m ²	N/A	8.14m ²	14.34m ²
% PERMITTED		52.7%	N/A	15.75%	10.2%
LIMITING DISTANCE		7.7m	N/A	3.5m	3.1m
% PROVIDED		29.13%	N/A	13.05%	9.93%
CONST. TYPE		COMB	N/A	COMB	COMB
CLADDING MATERIAL		NON-COMB	N/A	NON-COMB	NON-COMB
REQUIRED RATING		1HR	N/A	1HR	1HR

PLUMBING FIXTURE REQUIREMENTS 9.31.4.1.

ITEM (PER UNIT)	REQUIRED	PROVIDED
KITCHEN SINK	1 REQUIRED	1 PROVIDED
LAVATORY	1 REQUIRED	2 PROVIDED
SHOWER OR BATH	1 REQUIRED	1 PROVIDED
WATER CLOSET	1 REQUIRED	2 PROVIDED

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Revisions

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1	2024-05-31	DEVELOP. PERMIT

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920 RUTLAND ROAD

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KELOWNA, BC V1X 3B7

project no. 4194

drawing title

ZONING & BYLAW

designed DR scale 1:10

drawn DR

checked UA

drawing no.

A1.01D

plotted 5/30/24 3:09:58 PM



1 CODE SITE PLAN
1:100



SITE CONTEXT
1:100

COVERAGE AREA LEGEND

- NON-PERMEABLE SURFACE
- BUILDING FOOTPRINT
- COMMON AMENITY SPACE
- PRIVATE OPEN SPACE
- PERMEABLE SURFACES (UNACCOUNTED FOR)
- PROPERTY BOUNDARY
- PROPERTY SETBACKS

CODE LEGEND

- TRAVEL DISTANCE - START POINT
- TRAVEL DISTANCE - END POINT
- TRAVEL DISTANCE - ACCESSIBLE PATH
- SMOKE SEPARATION
- 45min FIRE RATED SEPARATION
- 60min FIRE RATED SEPARATION
- 90min FIRE RATED SEPARATION
- 120min FIRE RATED SEPARATION
- 180min FIRE RATED SEPARATION
- 240min FIRE RATED SEPARATION
- OCCUPANT LOAD
- ← TOTAL EXIT CAPACITY

- NOTES:
1. ALL MECHANICAL, ELECTRICAL AND OTHER PENETRATIONS THROUGH FIRE RATED PARTY WALLS, FLOORS, COMMON WALLS AND SHAFTS MUST BE SEALED AS PER ULC RATED PRODUCTS AND METHODS PARKADE ROOF (LEVEL 1): 2HR FIRE RATED SLAB REQUIRED ABOVE PARKADE **B.C.B.C. 3.2.1.2**
 2. COLOMNS IN PARKADE: 2HR FIRE RATED CONCRETE COLOUMNS
 3. ADDITIONAL SPRINKLER REQUIRED FOR EXIT PROTECTION **B.C.B.C. 3.2.3.13**
 4. FIRE EXTINGUISHER CABINETS (FEC) TO BE PLACED AND SIZED AS PER NFPA CODES. COORDINATE SIZE AND LOCATIONS WITH SPRINKLER DWGS
 - 5.

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drawing title
CODE SITE PLAN

designed DR scale As indicated

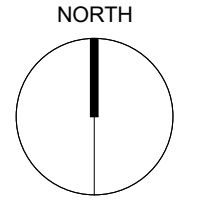
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KEYNOTES - SITE	
I.D	DESCRIPTION



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SITE PLAN

designed DR scale 1:100

drawn DR

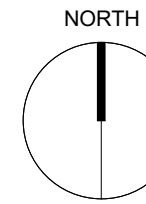
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KEYNOTES - FLOOR PLAN

I.D. DESCRIPTION



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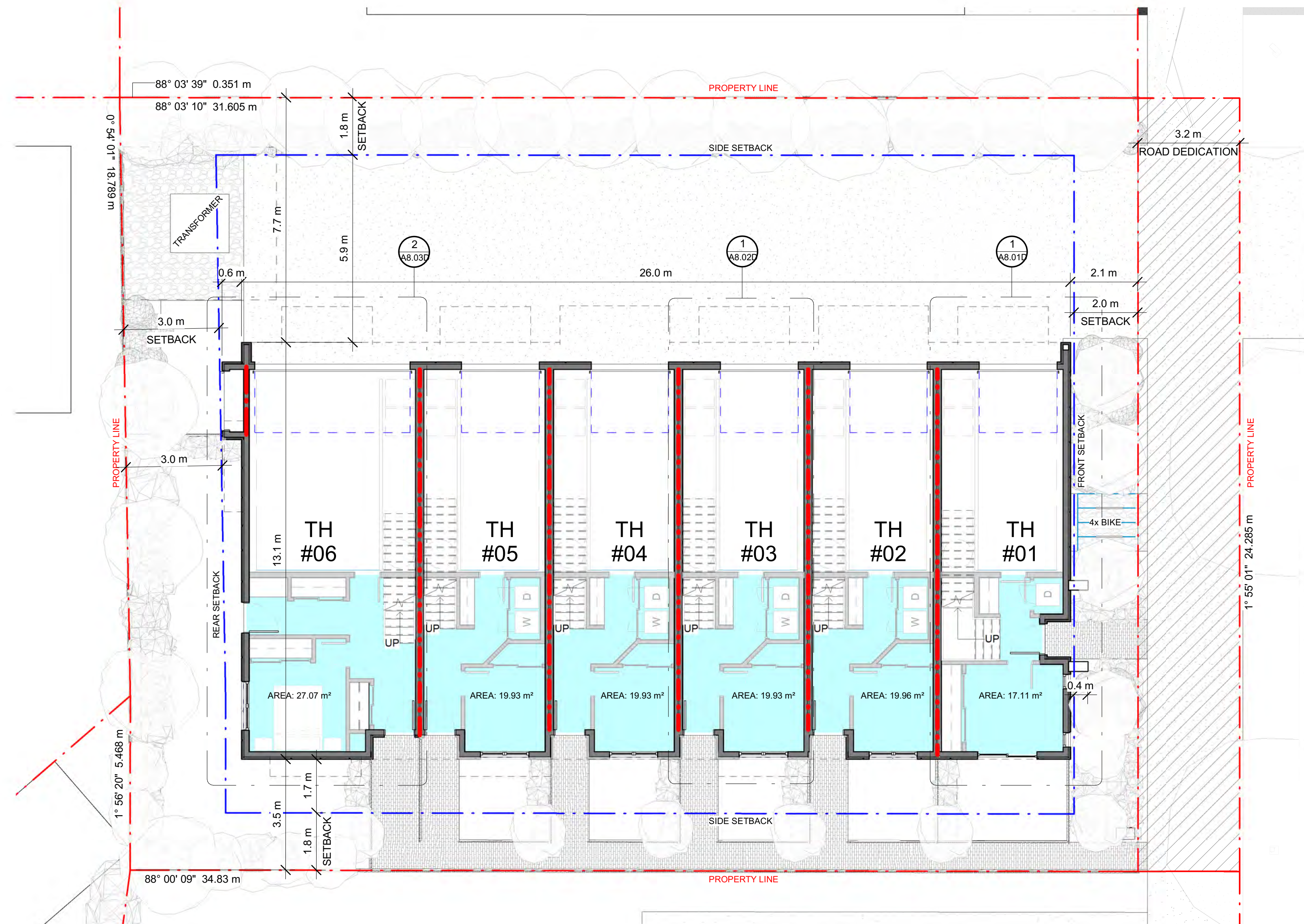
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LEVEL 1 FLOOR PLAN

designed DR scale 1/8" = 1'-0"

drawn DR

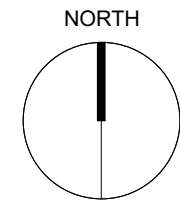
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KEYNOTES - FLOOR PLAN

I.D DESCRIPTION



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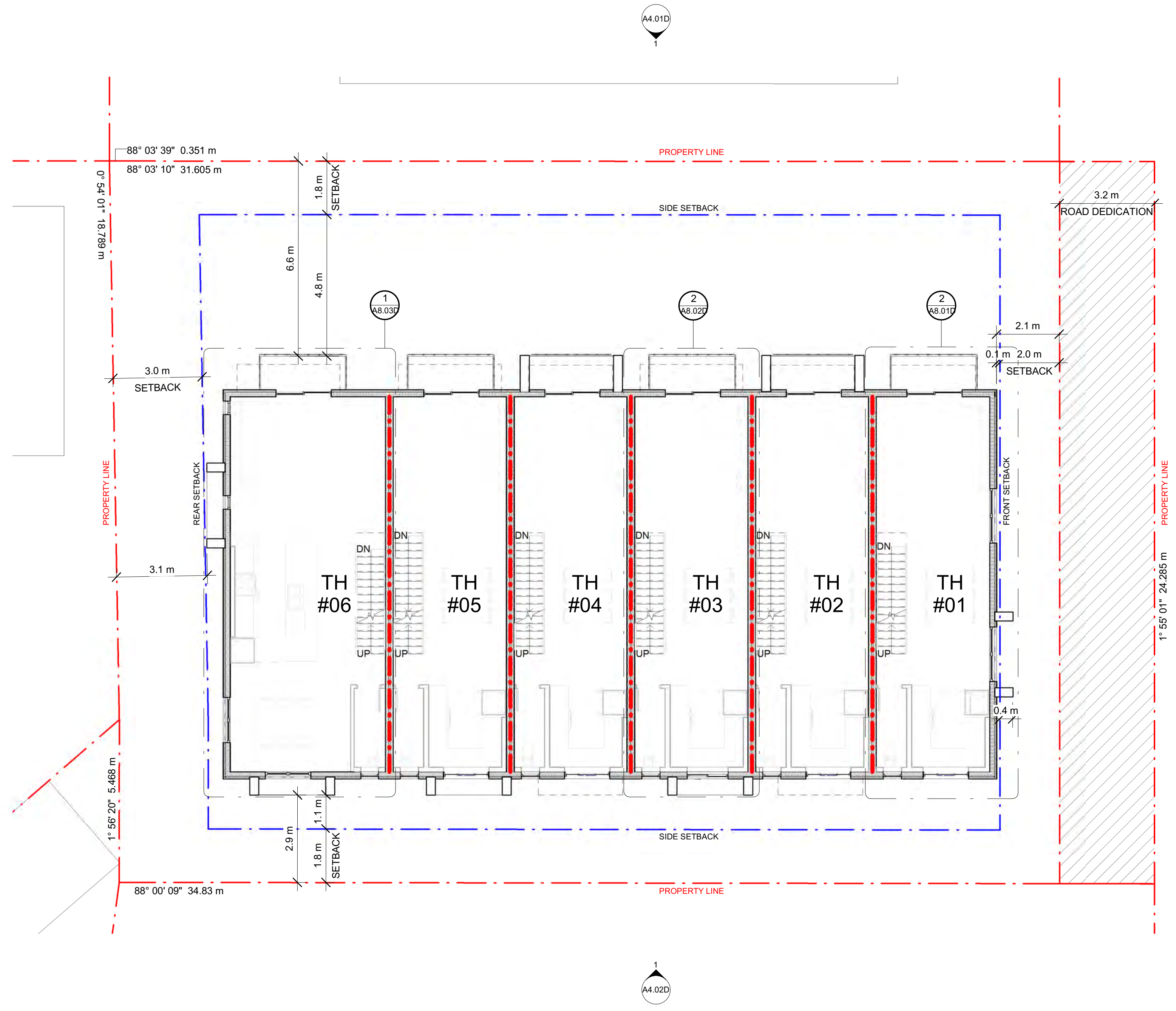
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KELOWNA, BC V1X 3B7**

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drawing title
LEVEL 2 FLOOR PLAN

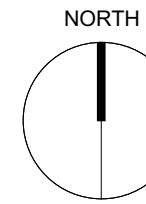
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drawn **DR**
checked **UA**

drawing no. **A3.02D**
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KEYNOTES - FLOOR PLAN

I.D DESCRIPTION

NORTH



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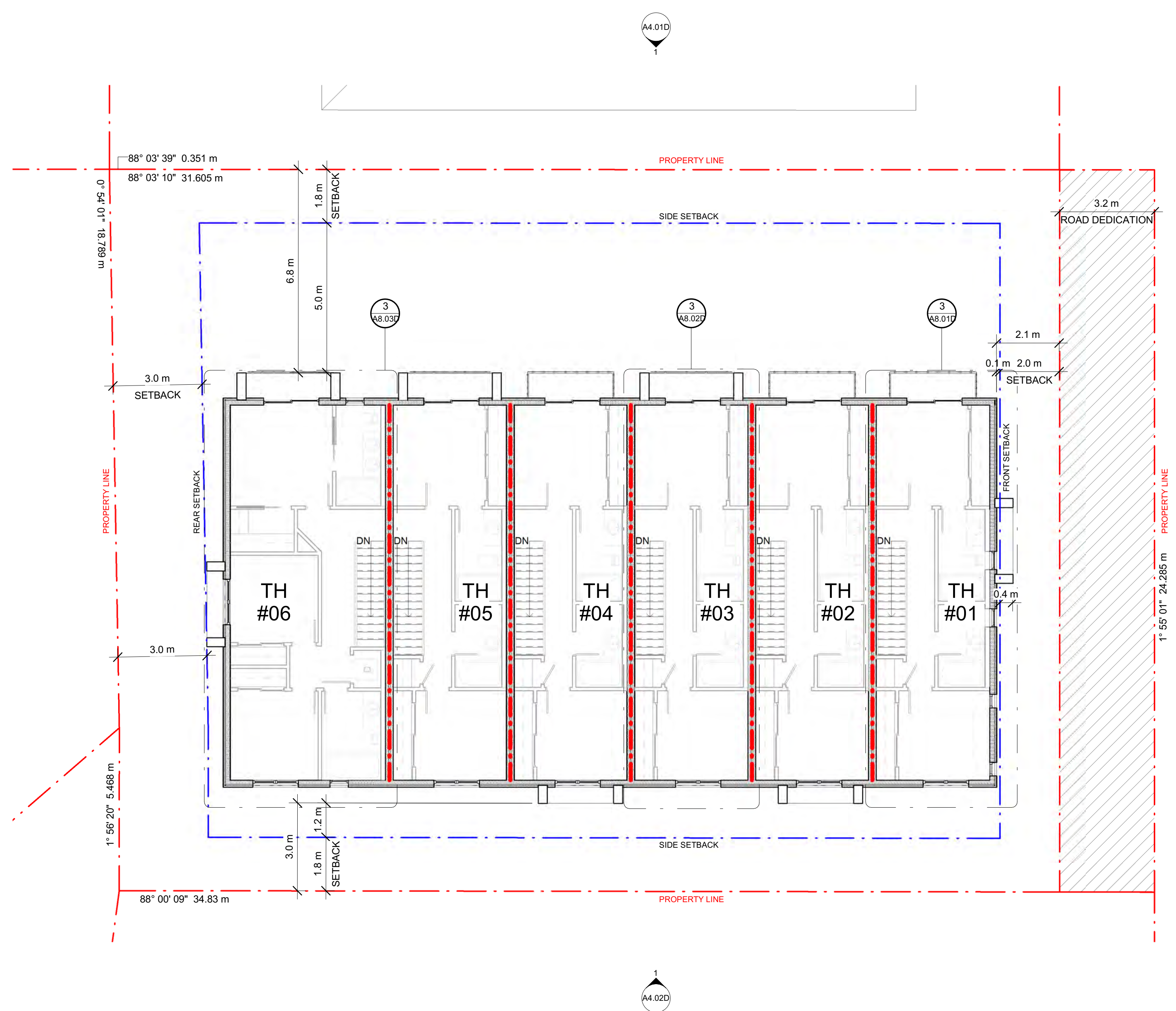
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drawing title
LEVEL 3 FLOOR PLAN

designed **DR** scale **1/8" = 1'-0"**

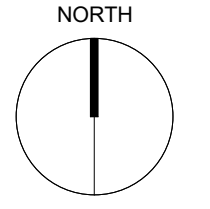
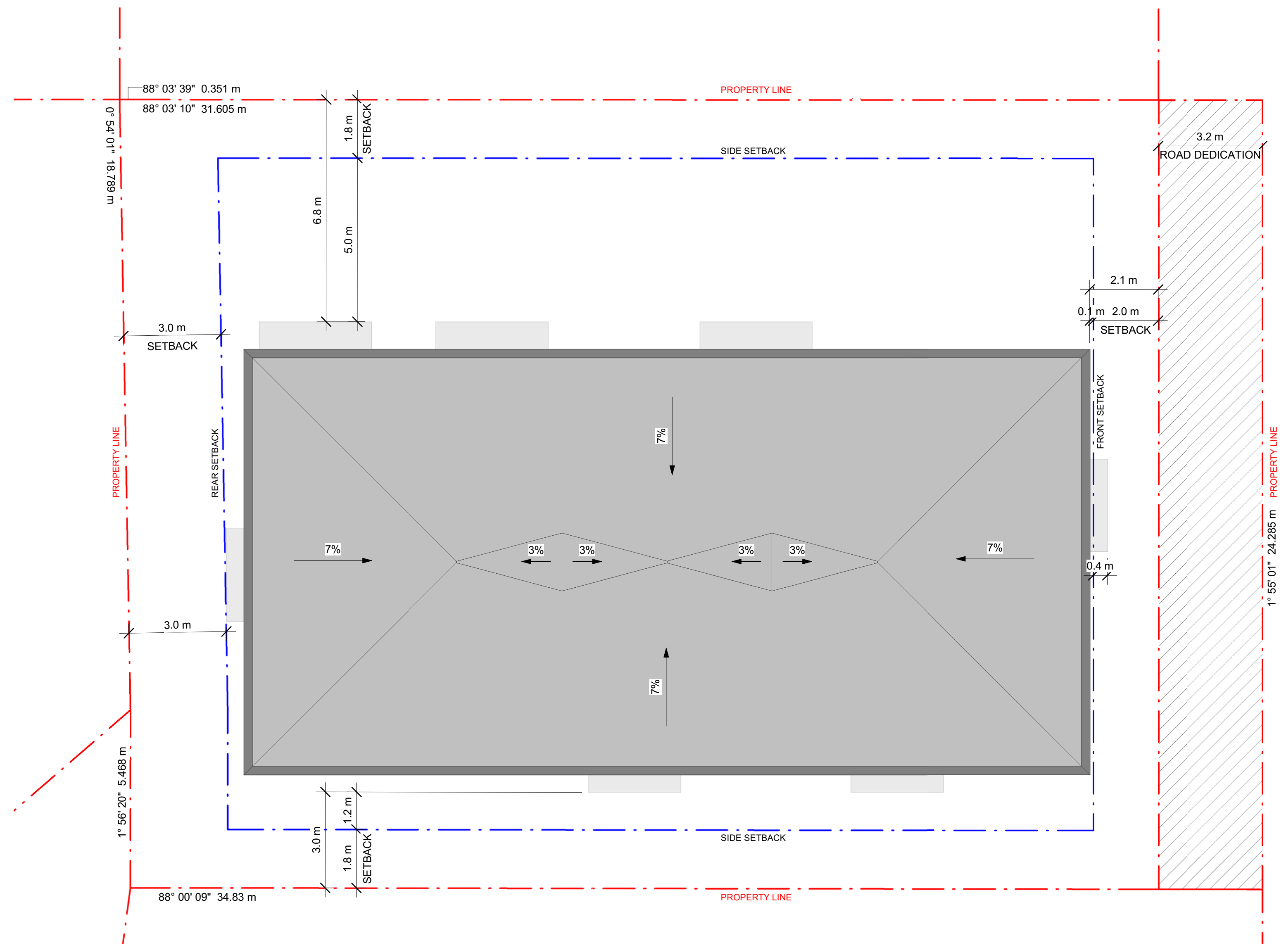
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checked **UA**

drawing no.

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drawn DR

checked UA

drawing no.

A3.04D

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MANUFACTURER: NEWTECHWOOD
 PRODUCT: THIN PROFILE WOOD BATTON
 COLOUR & CODE: CEDAR
 I.D NUMBER: UH61



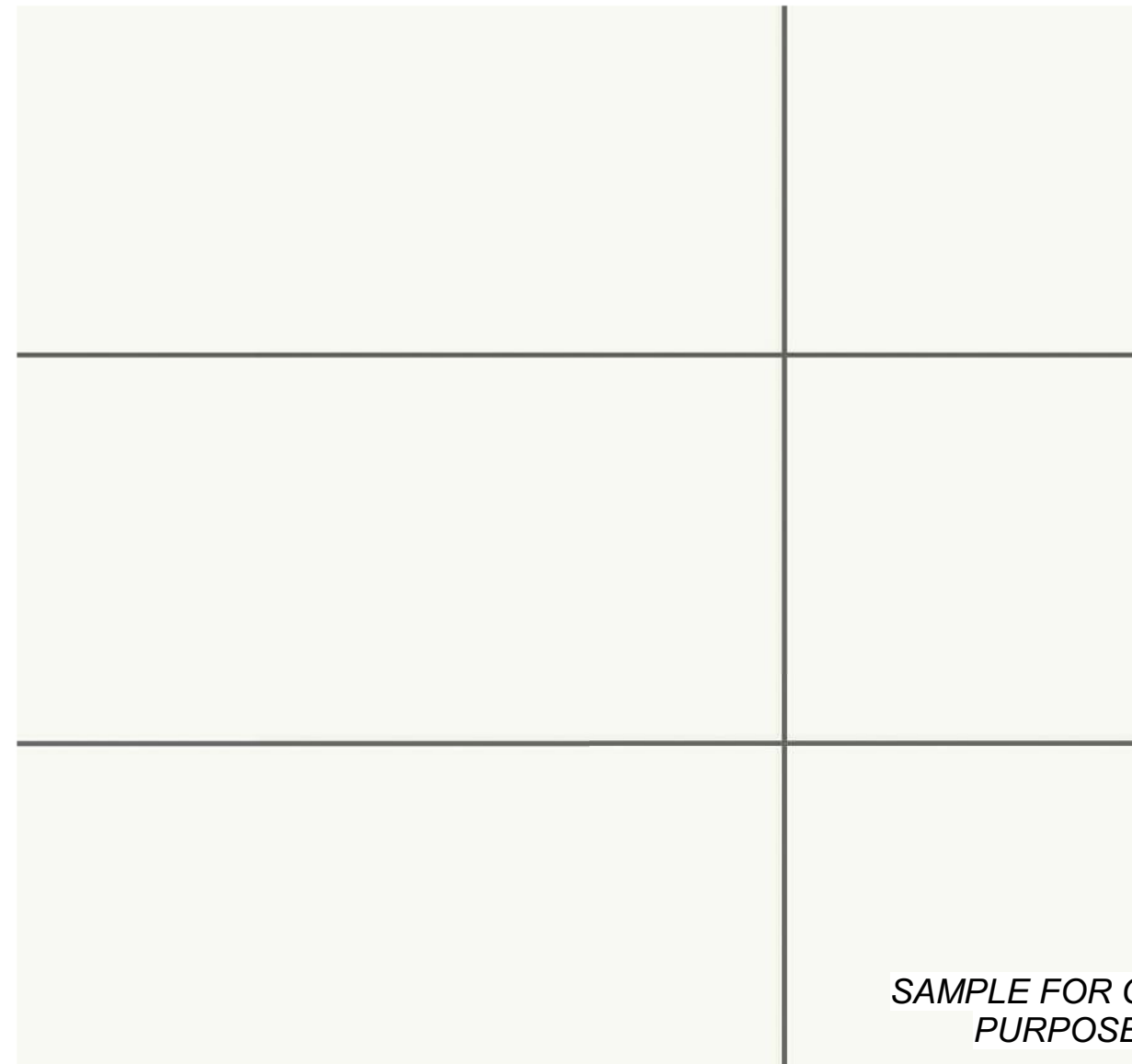
SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: NEWTECHWOOD
 PRODUCT: WIDE PROFILE WOOD BATTON
 COLOUR & CODE: CEDAR
 I.D NUMBER: UH58



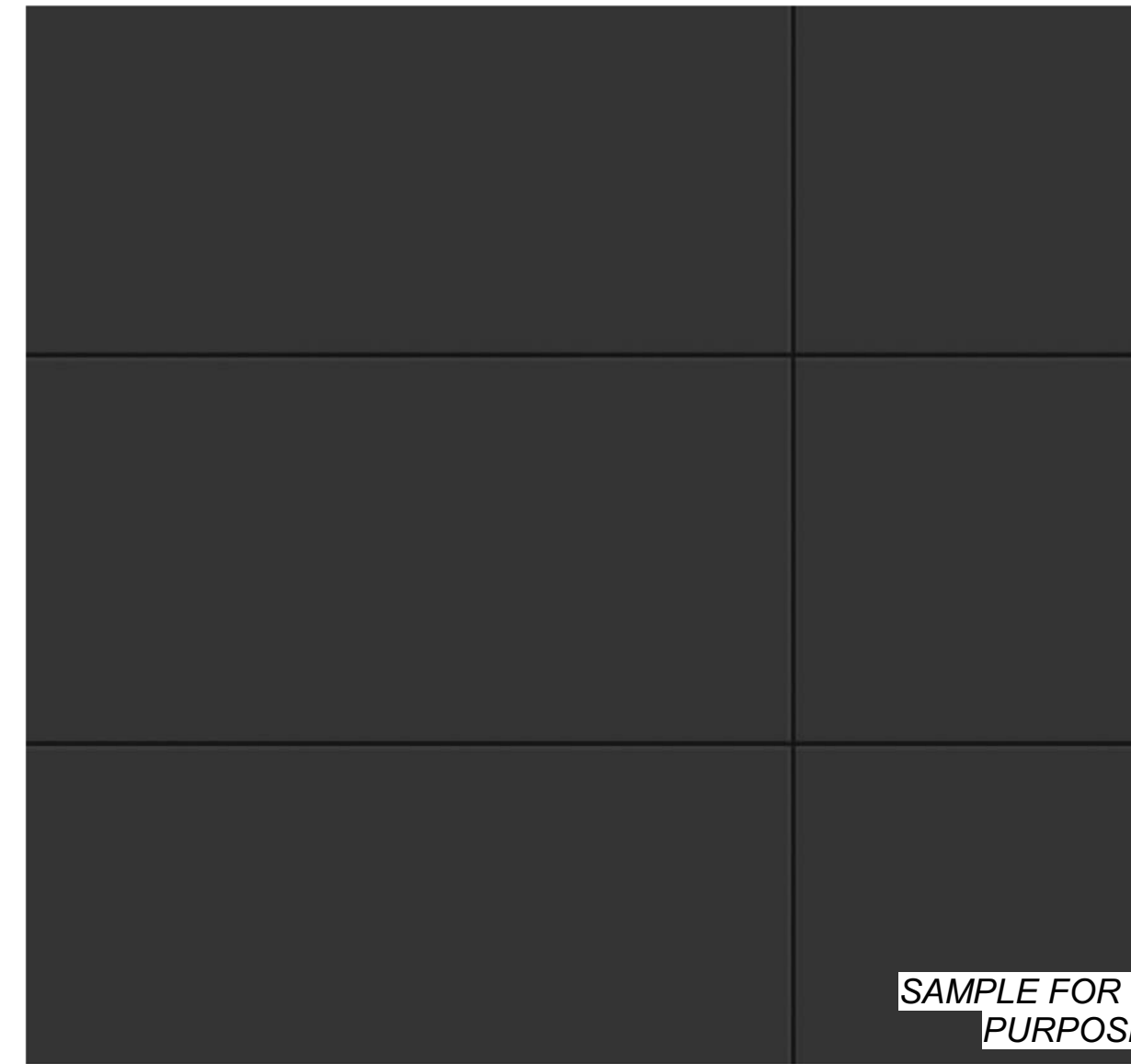
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PURPOSES ONLY

MANUFACTURER: T.B.C
 PRODUCT: COMPOSITE PANEL
 COLOUR & CODE: WHITE
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: T.B.C
 PRODUCT: COMPOSITE PANEL
 COLOUR & CODE: BLACK
 I.D NUMBER:



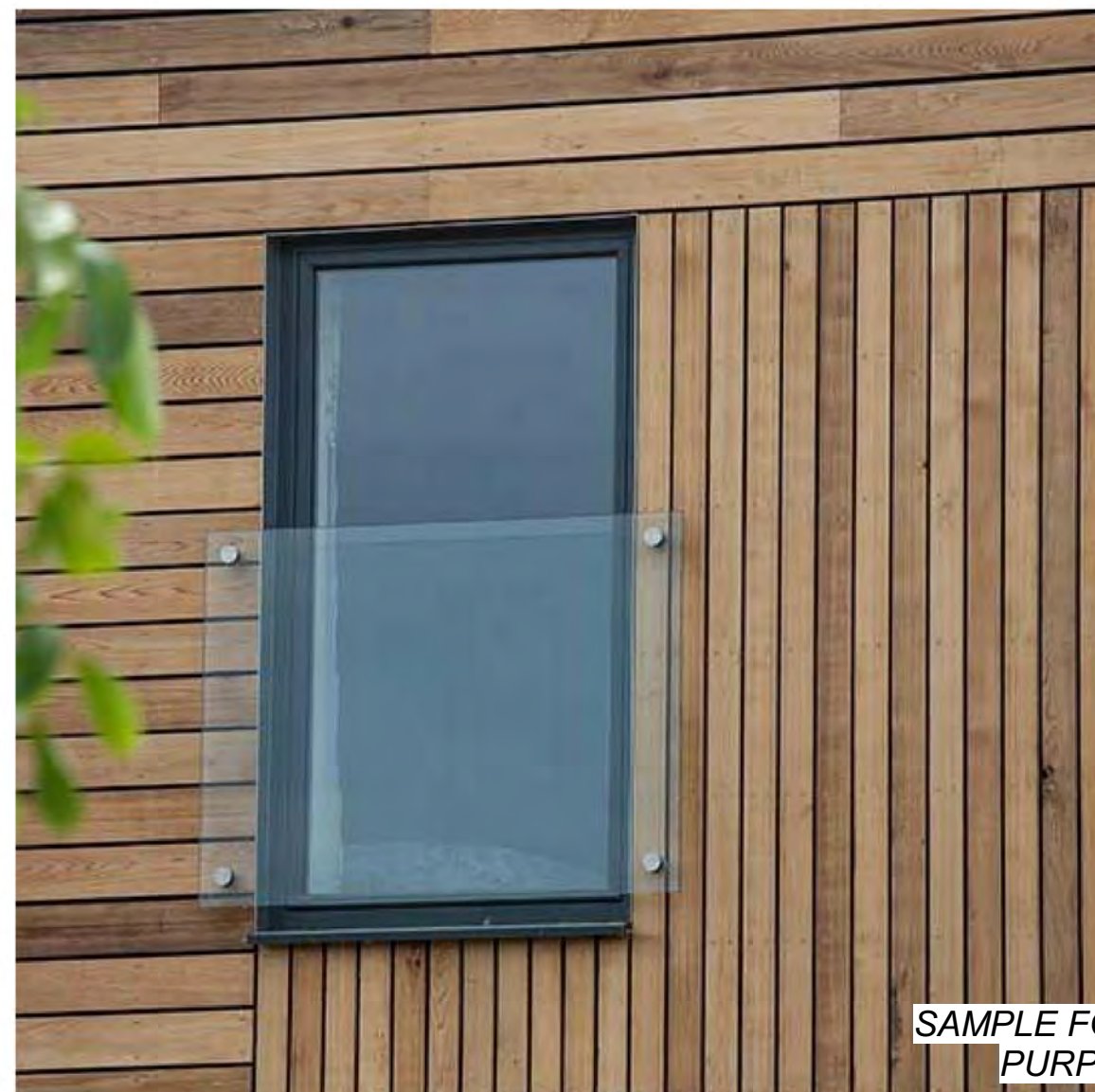
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PURPOSES ONLY

MANUFACTURER: SLIDING DOOR
 PRODUCT: BLACK FRAME
 COLOUR & CODE:
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: FRAMELESS GLASS BALUSTRADE
 PRODUCT: COLOUR & CODE:
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: WINDOW/BALCONY FRAMES
 PRODUCT: PREFINISHED BLACK METAL
 COLOUR & CODE:
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: BROOMED CONCRETE
 PRODUCT: COLOUR & CODE:
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: PREMIABLE PAVERS
 PRODUCT: SAND
 COLOUR & CODE:
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: URBAN RACKS
 PRODUCT: MOGUL
 COLOUR & CODE: BLACK
 I.D NUMBER: N/A



SAMPLE FOR COLOUR
PURPOSES ONLY

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Seal

Revisions

No.	DATE	ISSUED FOR
1	2024-05-31	DEVELOP. PERMIT

**PRINT IN
COLOUR**

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project title
 920 RUTLAND ROAD

project address
 920 RUTLAND ROAD
 KELOWNA, BC V1X 3B7

project no. 4194

File no. P11-Project/920 Rutland Rd 2024-05-31 4:11:00 PM

drawing title
MATERIALS

designed DR scale 1:10

drawn DR

checked UA

drawing no.

A4.00D

plotted 5/30/24 3:10:12 PM

KEYNOTES - ELEVATION

I.D	DESCRIPTION
-----	-------------

MATERIAL LEGEND

1. THIN PROFILE WOOD BATTON
2. WIDE PROFILE WOOD BATTON
3. COMPOSITE PANEL (SMOOTH) - CLASSIC WHITE
4. COMPOSITE PANEL (SMOOTH) - CLASSIC BLACK
5. FRAMELESS GLASS BALUSTRADE
6. EXTERIOR GLAZED DOOR w/ PREFINISHED BLACK FRAME
7. EXTERIOR SOLID DOOR w/ PREFINISHED BLACK FRAME
8. PREFINISHED GARAGE DOOR
9. EXTERIOR WINDOW w/ PREFINISHED BLACK FRAME
10. FRAMED WINDOW w/ PREFINISHED BLACK FRAME
11. 1.8m (6'-0") PROPERTY FENCE



1 NORTH ELEVATION
A3.02D 1/8" = 1'-0"



GOOGLE STREET VIEW OF SOUTHERN NEIGHBOR



GOOGLE STREET VIEW OF NORTHERN NEIGHBORS



2 EAST ELEVATION
A3.02D 1/8" = 1'-0"

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Revisions

No.	DATE	ISSUED FOR
1	2024-05-31	DEVELOP. PERMIT

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project title
920 RUTLAND ROAD

project address
**920 RUTLAND ROAD
KELOWNA, BC V1X 3B7**

project no. **4194**

drawing title

BUILDING ELEVATIONS

designed DR scale As indicated

drawn DR

checked UA

drawing no.

A4.01D

plotted 5/30/24 3:10:15 PM

KEYNOTES - ELEVATION

I.D	DESCRIPTION
-----	-------------

MATERIAL LEGEND

1. THIN PROFILE WOOD BATTON
2. WIDE PROFILE WOOD BATTON
3. COMPOSITE PANEL (SMOOTH) - CLASSIC WHITE
4. COMPOSITE PANEL (SMOOTH) - CLASSIC BLACK
5. FRAMELESS GLASS BALUSTRADE
6. EXTERIOR GLAZED DOOR w/ PREFINISHED BLACK FRAME
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8. PREFINISHED GARAGE DOOR
9. EXTERIOR WINDOW w/ PREFINISHED BLACK FRAME
10. FRAMED WINDOW w/ PREFINISHED BLACK FRAME
11. 1.8m (6'-0") PROPERTY FENCE



1 SOUTH ELEVATION
A3.02D 1/8" = 1'-0"



2 WEST ELEVATION
A3.02D 1/8" = 1'-0"

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Revisions

No.	DATE	ISSUED FOR
1	2024-05-31	DEVELOP. PERMIT

PRINT IN COLOUR

project title
920 RUTLAND ROAD

project address
920 RUTLAND ROAD
KELOWNA, BC V1X 3B7

project no. 4194

By Reg. Prof. P. J. P. Professional Regulation Act (SBC 2002) and the Engineering and Construction Act (SBC 2002)

drawing title
BUILDING ELEVATIONS

designed DR scale As indicated

drawn DR

checked UA

drawing no.

A4.02D

plotted 5/30/24 3:10:19 PM

KEYNOTES - FLOOR PLAN

I.D. DESCRIPTION

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

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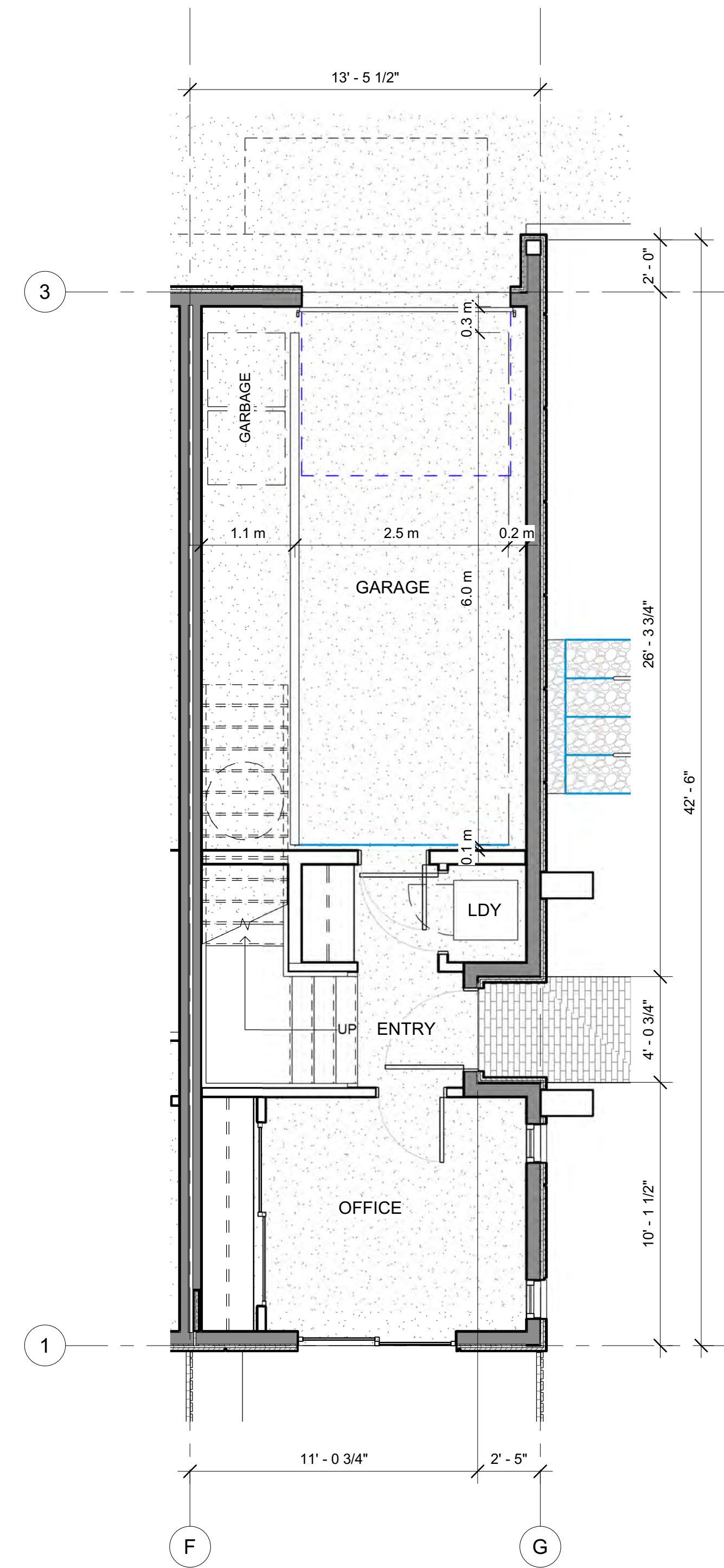
Verify all dimensions and datums prior to commencement of work.

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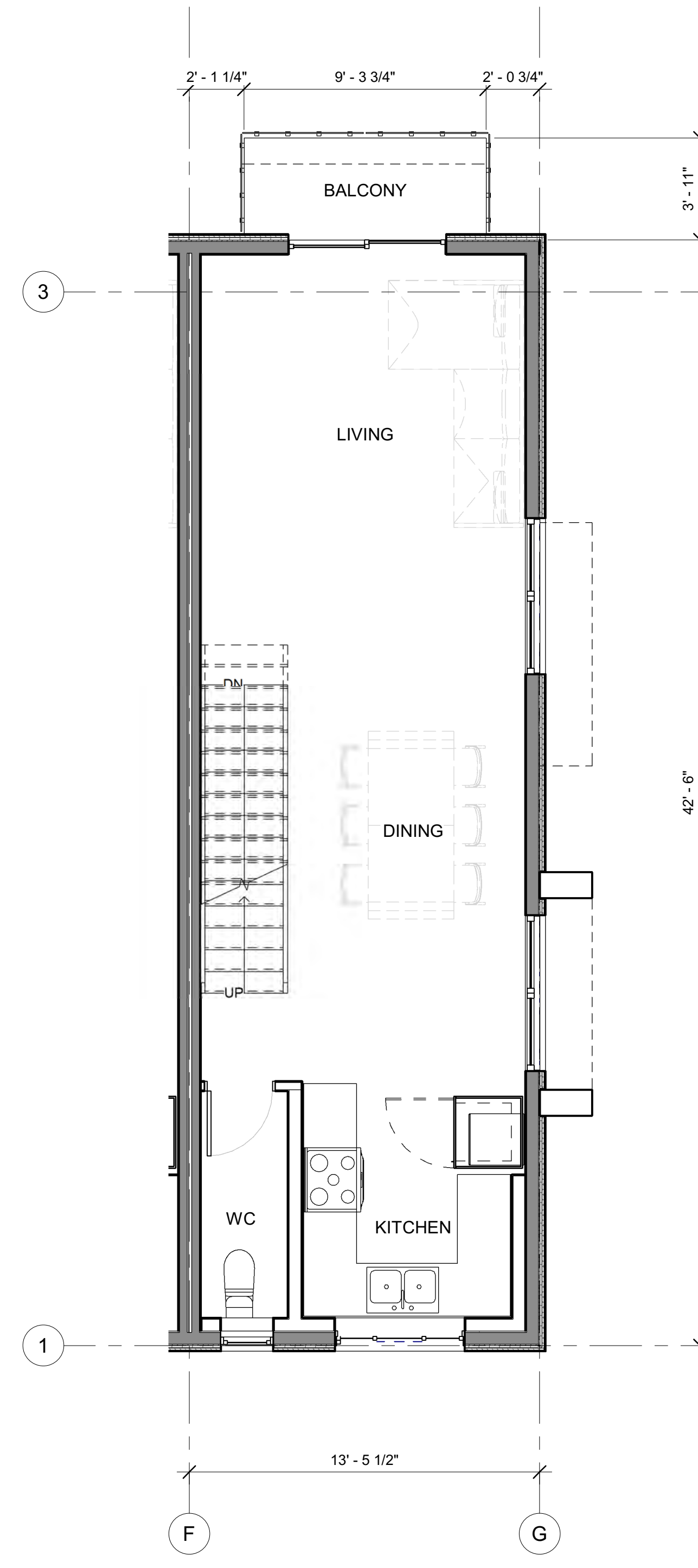


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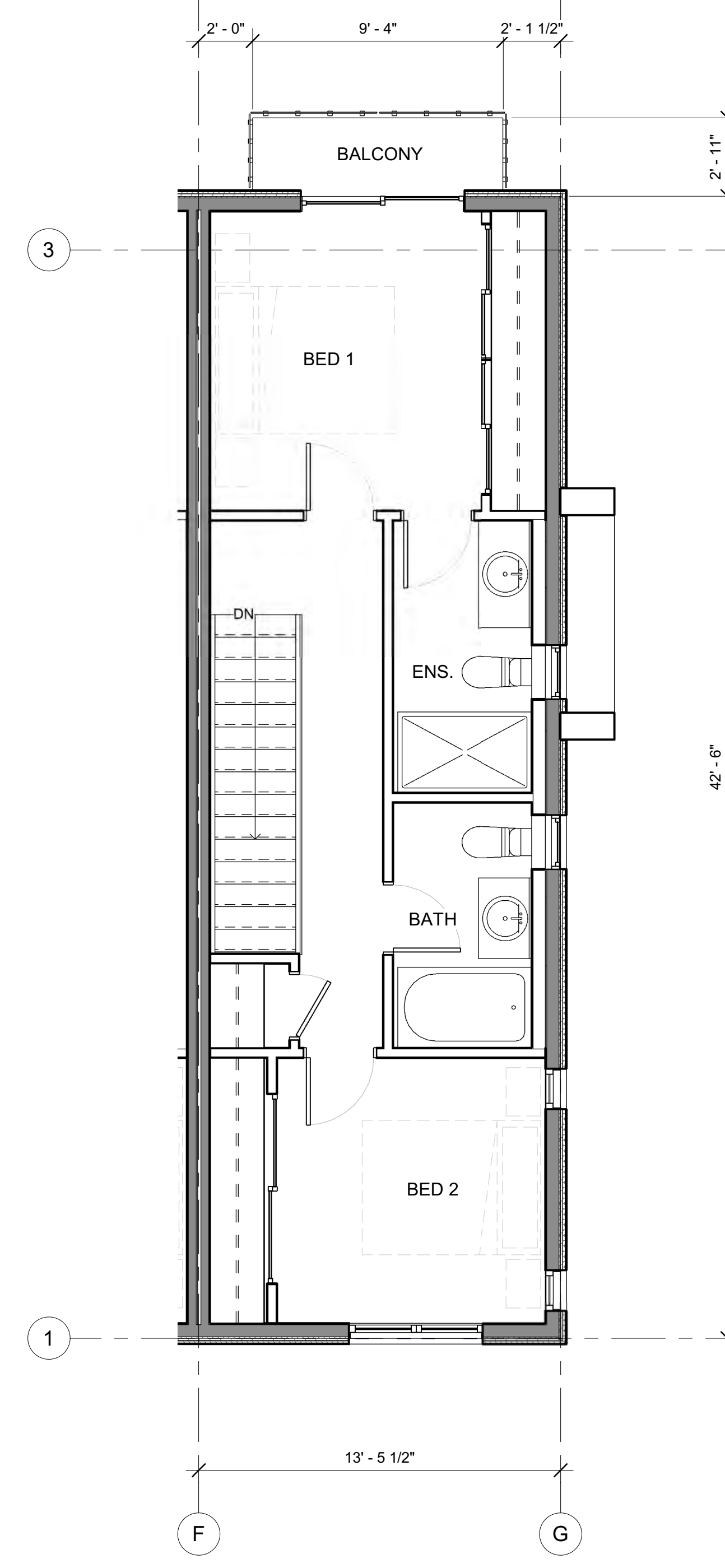
Seal



1 FRONT UNIT - LEVEL 1
A3.01D 1/4" = 1'-0"



2 FRONT UNIT - LEVEL 2
A3.02D 1/4" = 1'-0"



3 FRONT UNIT - LEVEL 3
A3.03D 1/4" = 1'-0"

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Revisions

No.	DATE	ISSUED FOR
1	2024-05-31	DEVELOP. PERMIT

PRINT IN COLOUR

project title
920 RUTLAND ROAD

project address
920 RUTLAND ROAD
KELOWNA, BC V1X 3B7

project no. 4194

drawing title
FRONT UNIT FLOOR PLANS

designed DR scale 1/4" = 1'-0"

drawn DR

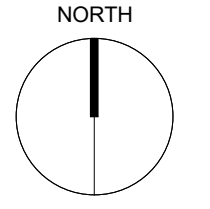
checked UA

drawing no. **A8.01D**

plotted 5/30/24 3:10:21 PM

KEYNOTES - FLOOR PLAN

I.D.	DESCRIPTION
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ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

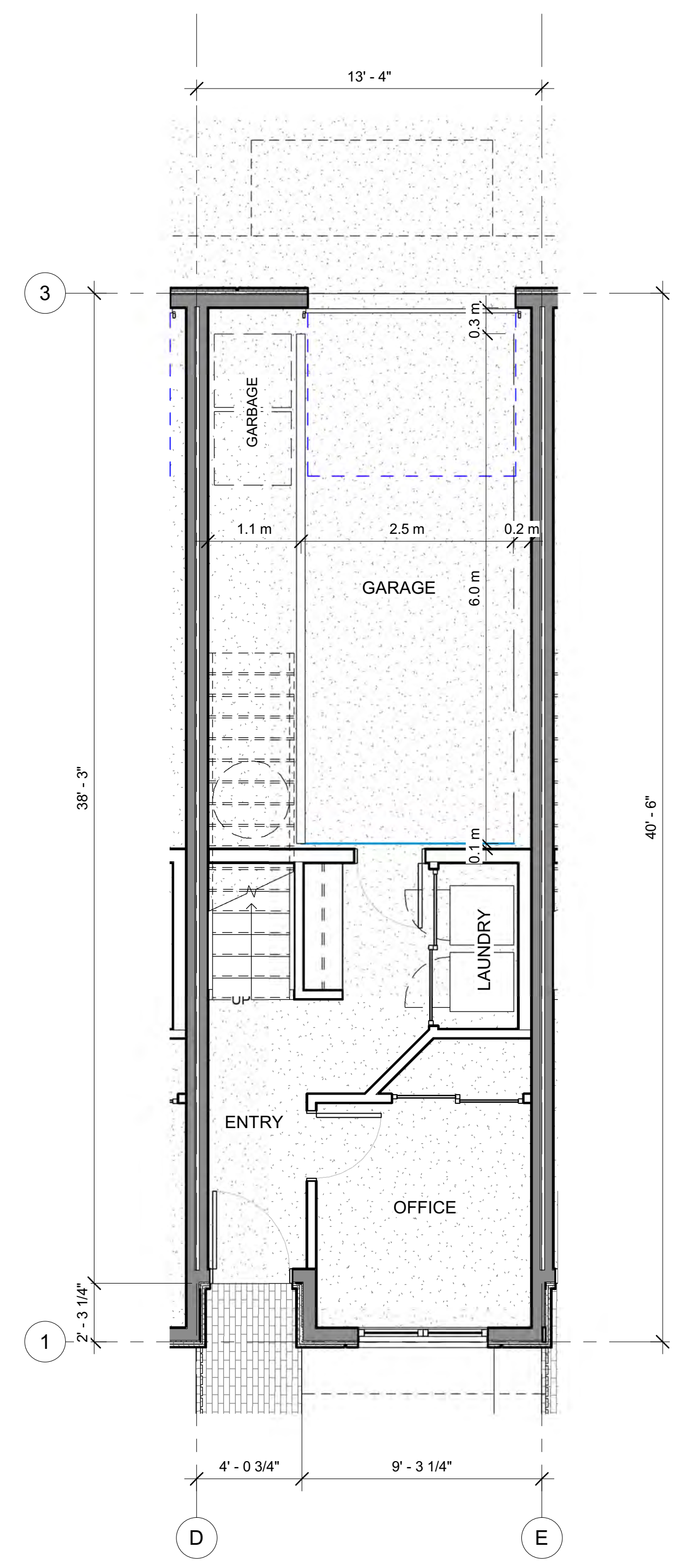
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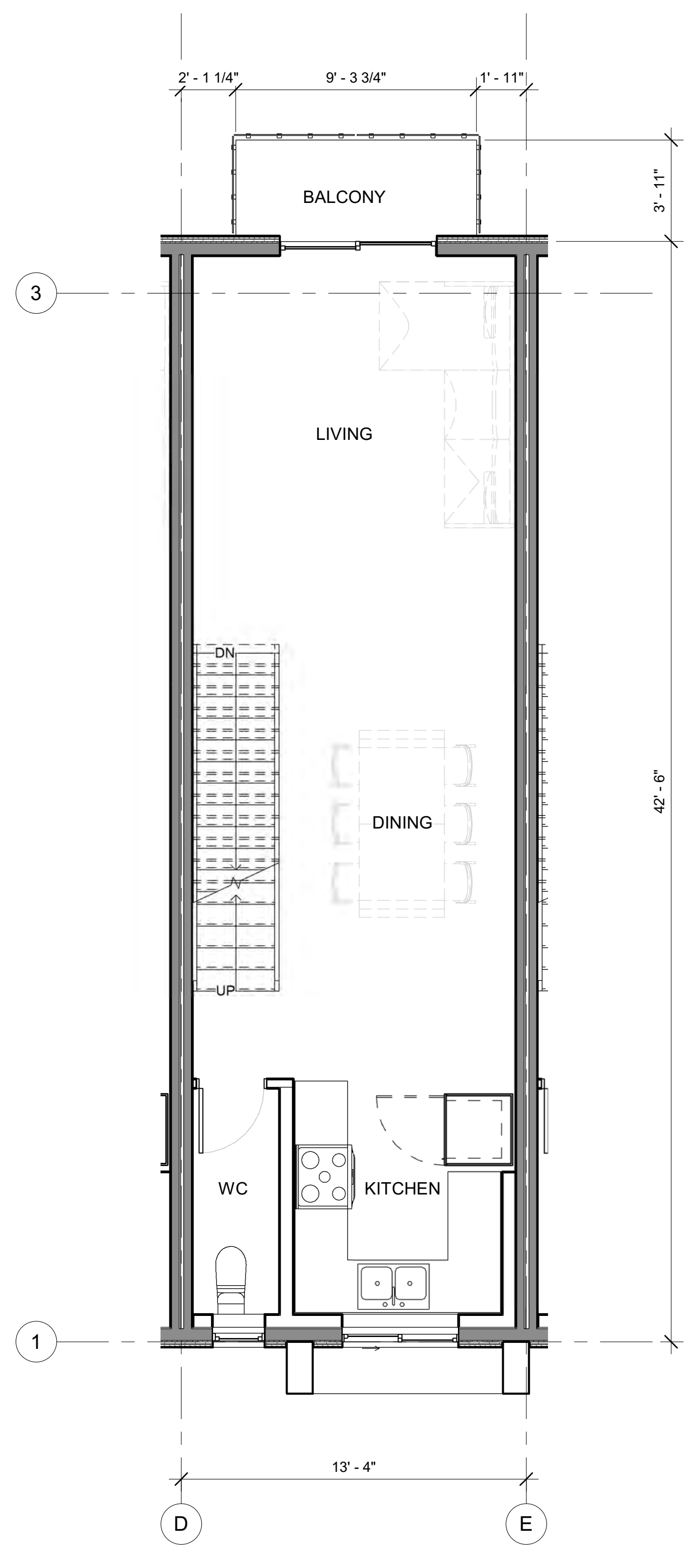


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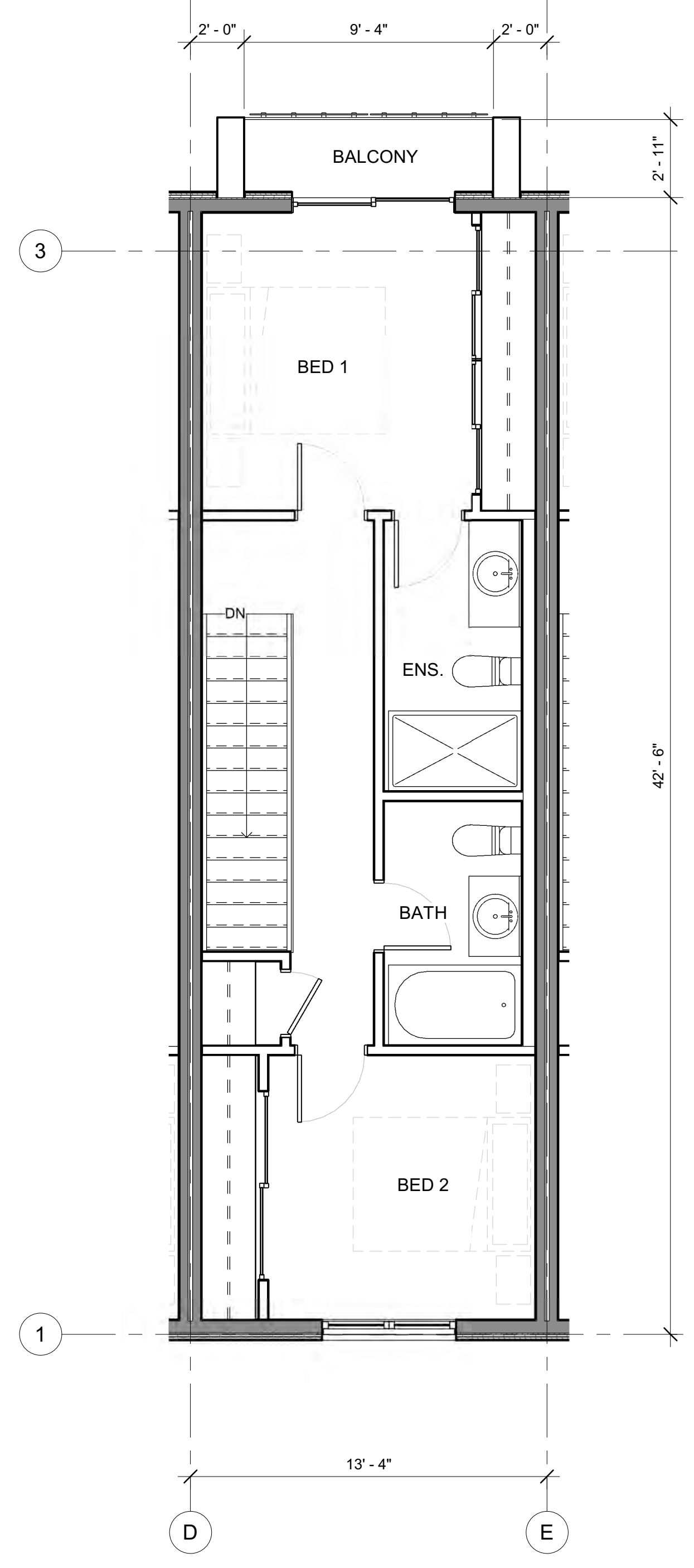
Seal



1 TYPICAL UNIT - LEVEL 1
A3.01D 1/4" = 1'-0"



2 TYPICAL UNIT - LEVEL 2
A3.02D 1/4" = 1'-0"



3 TYPICAL UNIT - LEVEL 3
A3.03D 1/4" = 1'-0"

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Revisions

No.	DATE	ISSUED FOR
1	2024-05-31	DEVELOP. PERMIT

PRINT IN COLOUR

project title
920 RUTLAND ROAD

project address
**920 RUTLAND ROAD
KELOWNA, BC V1X 3B7**

project no. **4194**

drawing title
**TYPICAL UNIT
FLOOR PLANS**

designed **DR** scale **1/4" = 1'-0"**
drawn **DR**
checked **UA**

drawing no. **A8.02D**
plotted 5/30/24 3:10:22 PM

KEYNOTES - FLOOR PLAN

I.D. DESCRIPTION

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Revisions

No.	DATE	ISSUED FOR
1	2024-05-31	DEVELOP. PERMIT

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project title
920 RUTLAND ROAD

project address
**920 RUTLAND ROAD
KELOWNA, BC V1X 3B7**

project no. **4194**

File no. P11-Project/920 Rutland Rd 0204/04/4-Design/411-Construction/04-030-00-Plan/04

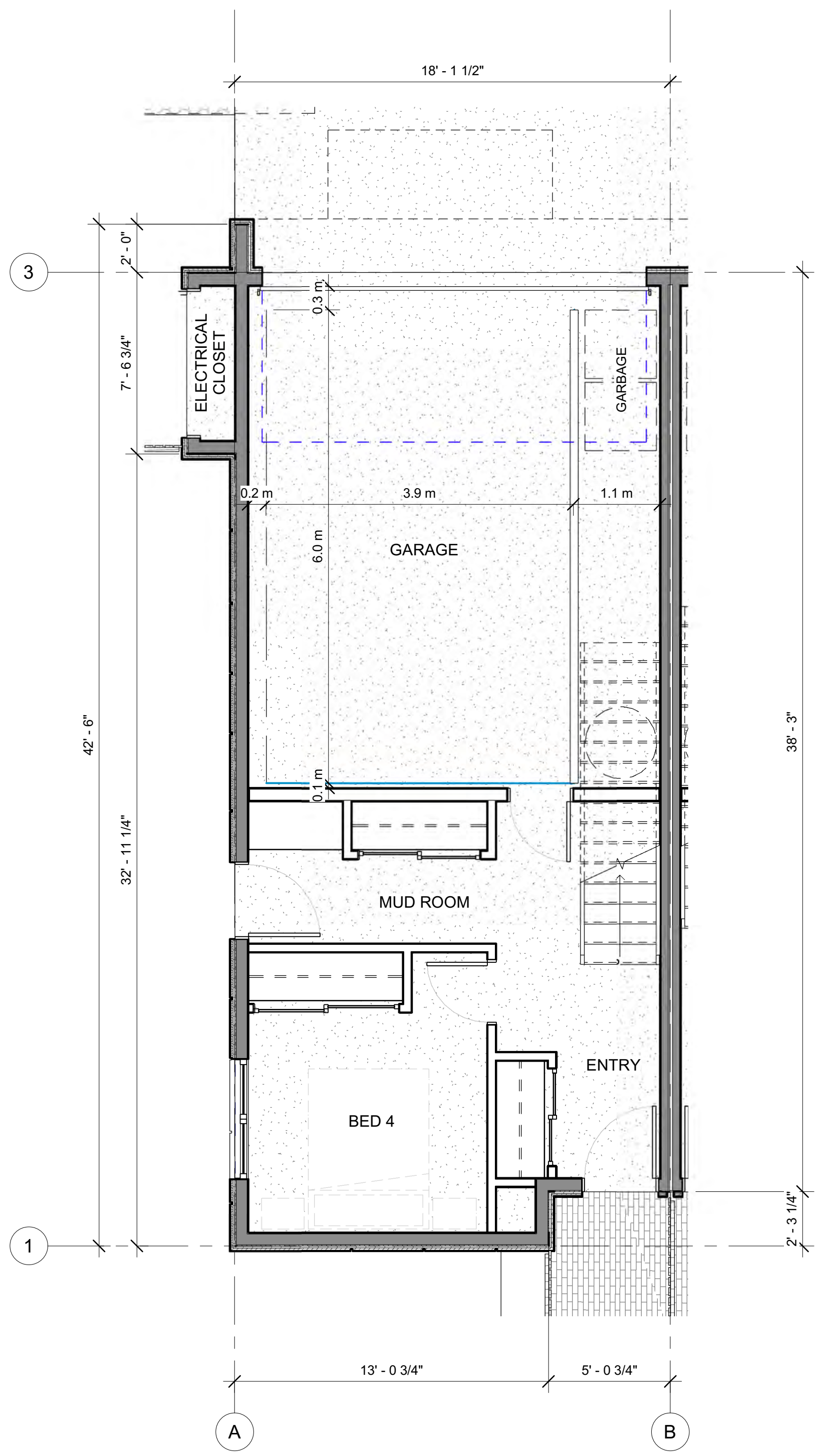
drawing title
**REAR UNIT
FLOOR PLANS**

designed DR scale 1/4" = 1'-0"
drawn DR
checked UA

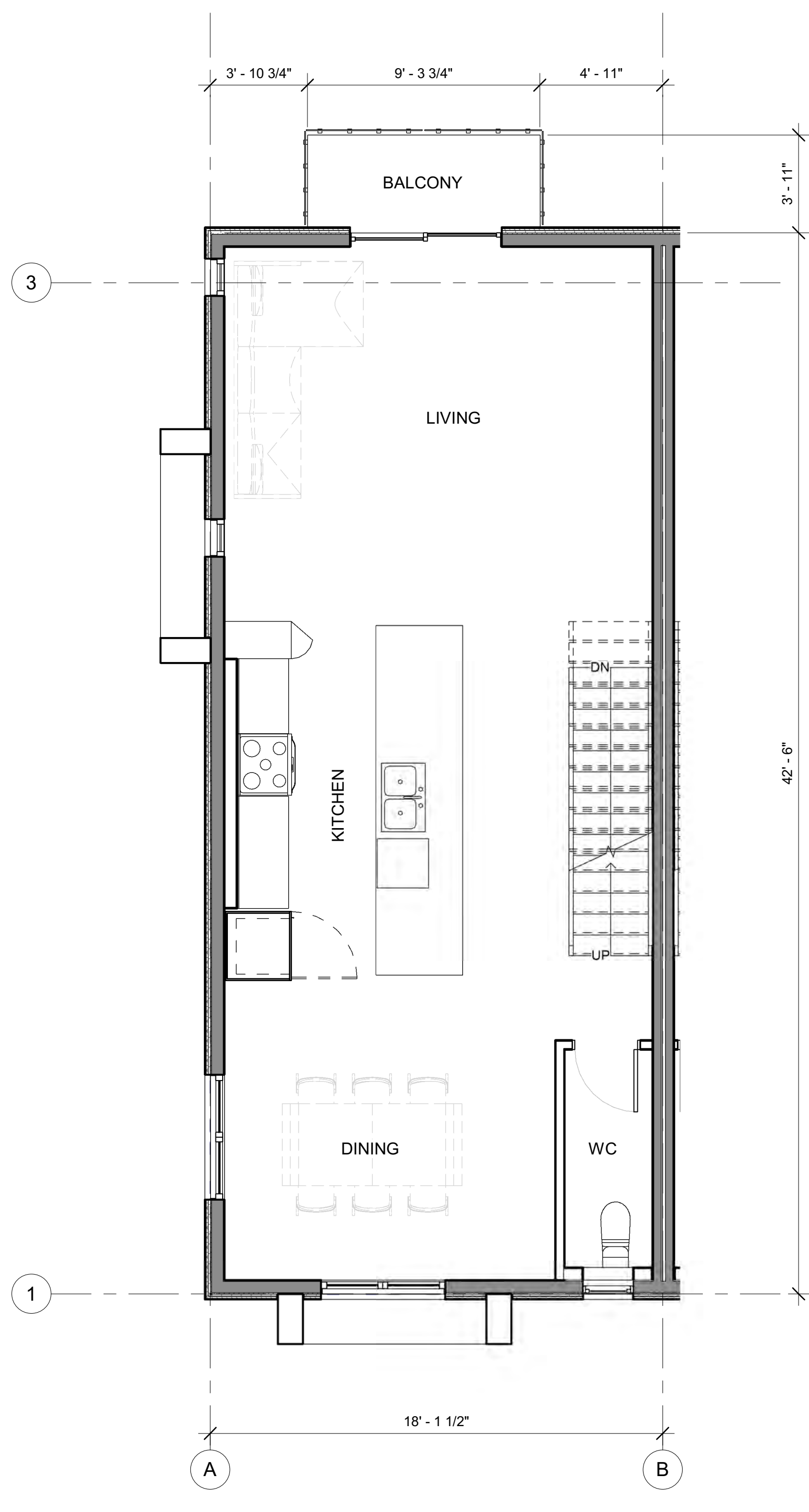
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plotted 5/30/24 3:10:24 PM

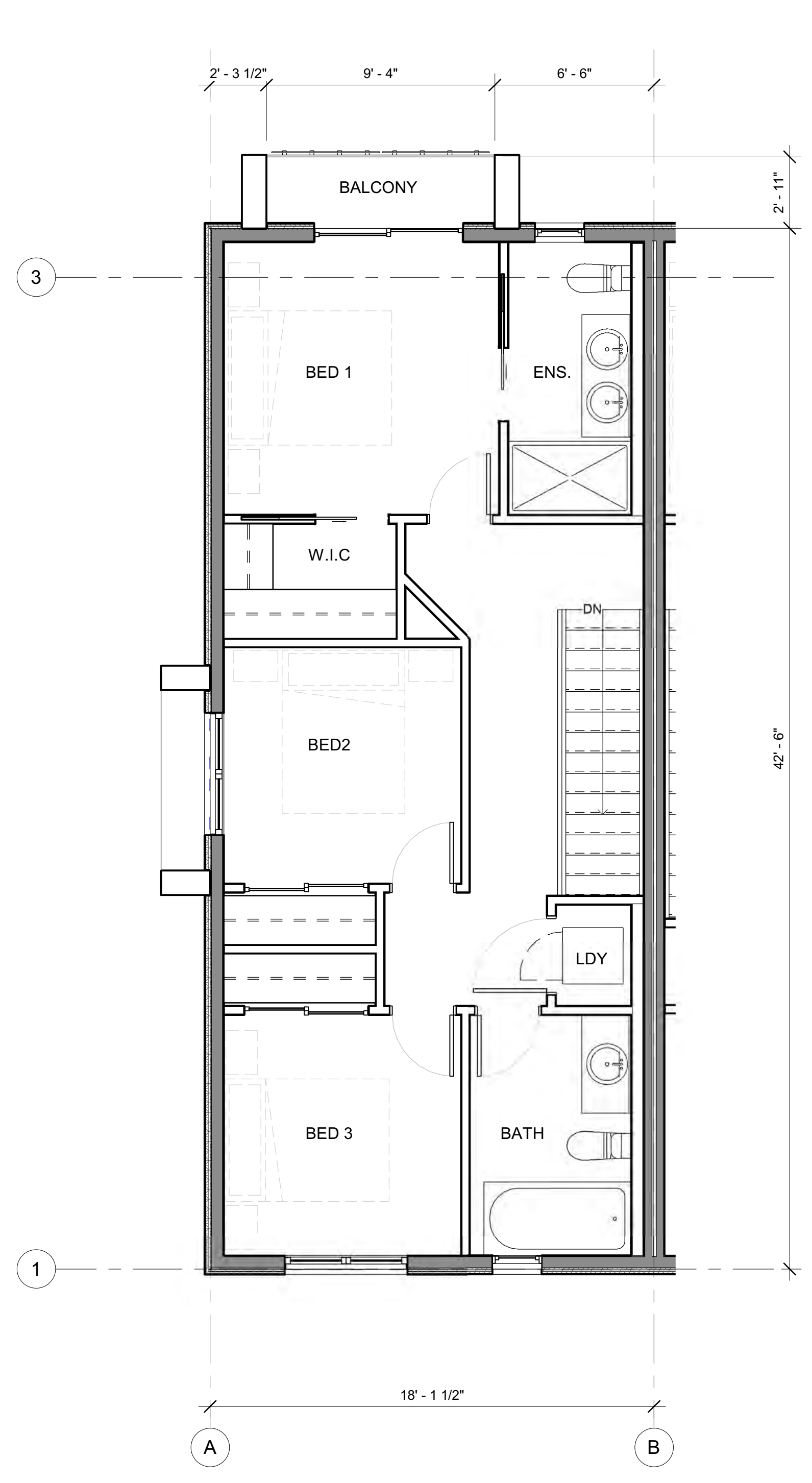
FOR PERMIT ONLY (NOT FOR TENDER)



2 REAR UNIT - LEVEL 1
A3.01D 1/4" = 1'-0"



1 REAR UNIT - LEVEL 2
A3.02D 1/4" = 1'-0"



3 REAR UNIT - LEVEL 3
A3.03D 1/4" = 1'-0"



RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

RENDERING 1 - VIEW FROM NW CORNER



RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

RENDERING 2 - VIEW FROM ELEVATED SW



RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

RENDERING NUMBER 3 - VIEW FROM SE CROSS-STREET



RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

RENDERING NUMBER 4 - VIEW FROM SE AERIAL

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No.	DATE	ISSUED FOR
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FOR PERMIT ONLY (NOT FOR TENDER)

project title
920 RUTLAND ROAD

project address
920 RUTLAND ROAD
KELOWNA, BC V1X 3B7

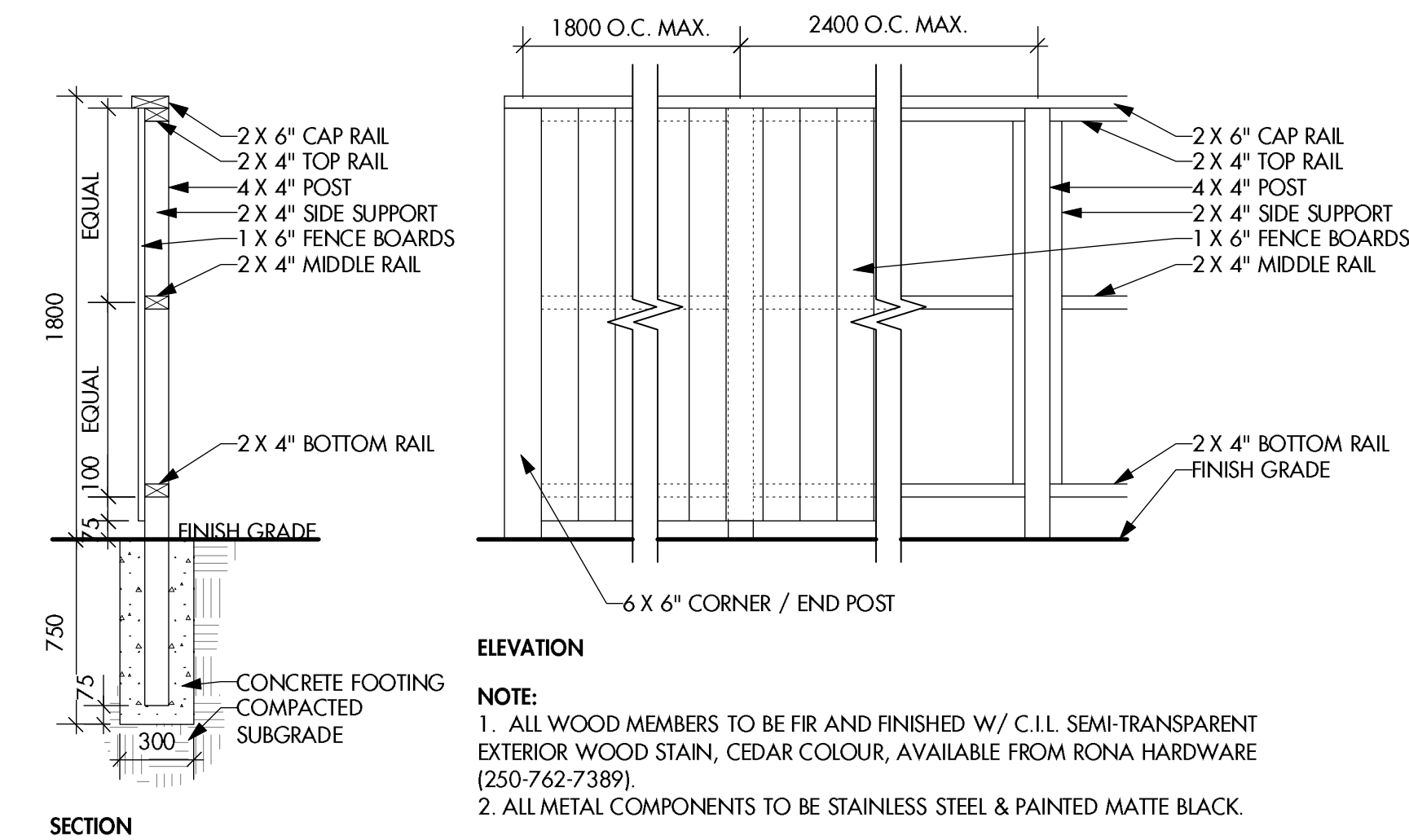
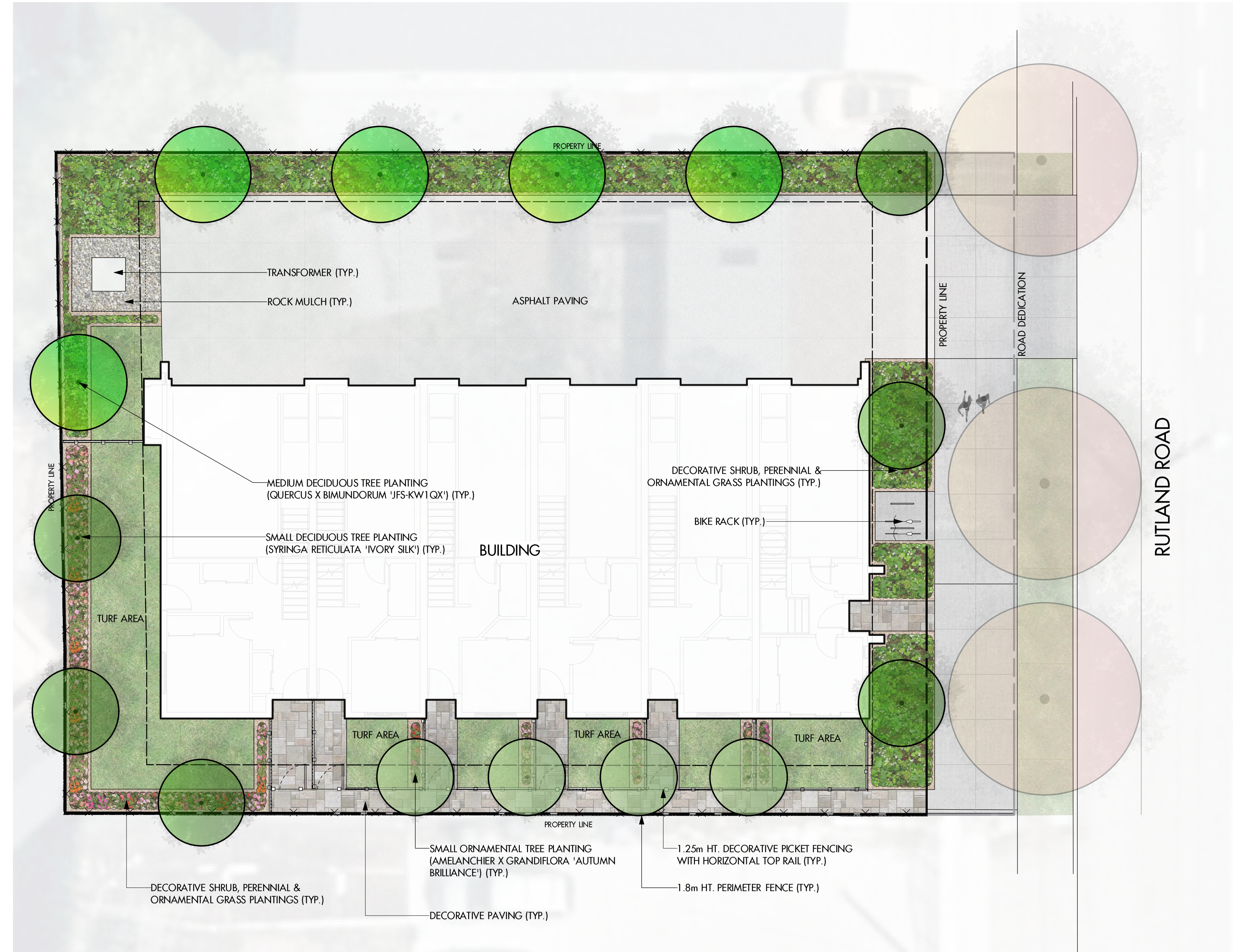
project no. 4194

drawing title
RENDERINGS

designed DR scale 1:10
drawn DR
checked UA

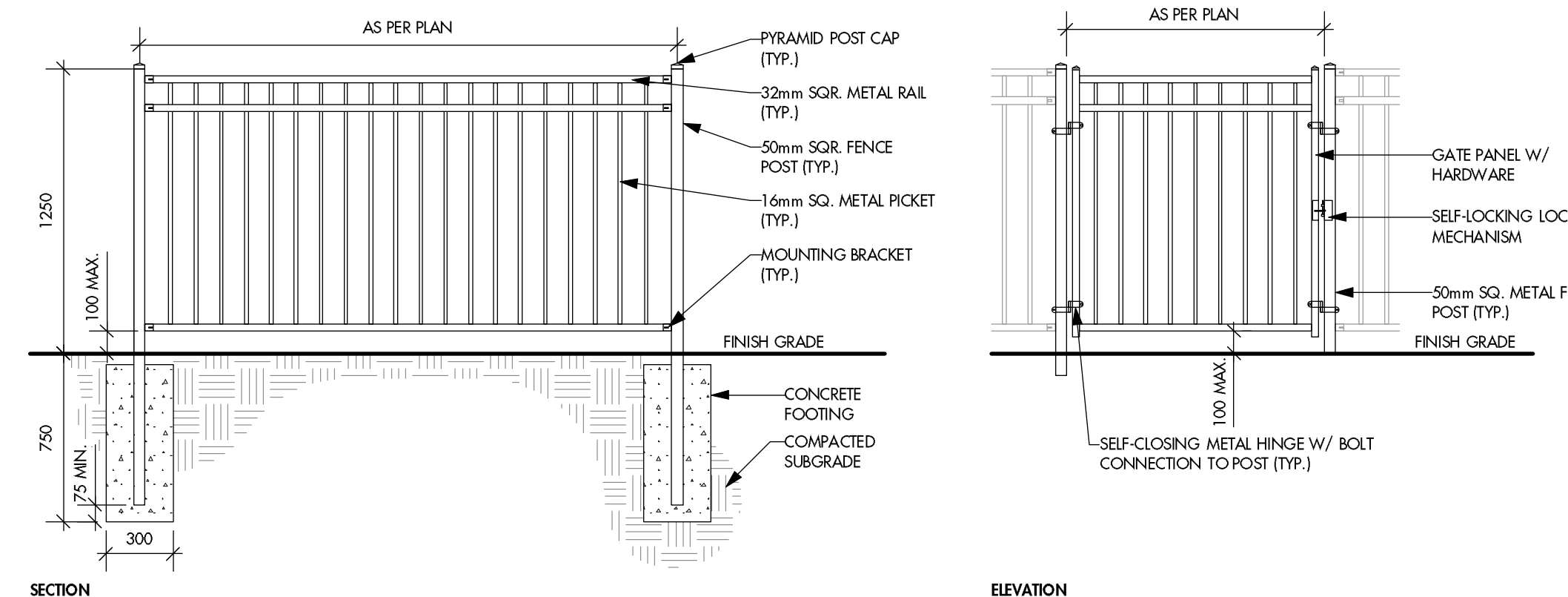
drawing no.
A9.01D

plotted 5/30/24 3:10:25 PM



1 1.8m HT. Decorative Picket Fence - Section
LM-101 1:20

NOTE:
1. ALL COMPONENTS TO BE FINISHED BLACK.
2. FENCE & GATE TO BE AMERISTAR FENCING; MONTAGE SERIES, MAJESTIC MODEL, W/O ADORNMENTS. AVAILABLE FROM AMERISTAR FENCE PRODUCTS (888-333-3422), OR APPROVED EQUAL.
3. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



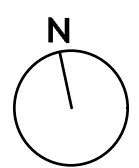
2 1.25m HT. Decorative Picket Fence - Section
LM-101 1:20

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREA FROM SOD SHALL BE NO.1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.
7. FOR CONFORMANCE WITH DEVELOPMENT PERMIT LANDSCAPE REQUIREMENTS, THE PRIME CONTRACTOR AND/OR CONSULTANTS RESPONSIBLE FOR SITE SERVICING AND UTILITIES SHALL ENSURE THAT ALL BUILDING PERMIT SUBMITTALS ARE COORDINATED WITH LANDSCAPE ARCHITECTURAL SUBMITTALS.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREES			
AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	4	3cm CAL
QUERCUS X BIMUNDORUM 'JFS-KW1QX'	STREETSPICE OAK	5	4cm CAL
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC	6	3cm CAL
SHRUBS			
BERBERIS THUNBERGII 'MONOMB'	CHERRY BOMB BARBERRY	6	#02 CONT. /1.5M O.C. SPACING
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	6	#02 CONT. /1.5M O.C. SPACING
EUNYMIUS ALATUS 'SELECT'	FIRE BALL BURNING BUSH	4	#02 CONT. /1.8M O.C. SPACING
JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	6	#02 CONT. /1.5M O.C. SPACING
SPIRAEA JAPONICA 'GOLD MOUND'	GOLD MOUND SPIREA	4	#02 CONT. /1.8M O.C. SPACING
PERENNIALS & GRASSES			
ACHILLEA FILIPENDULINA 'CLOTH OF GOLD'	CLOTH OF GOLD YARROW	6	#01 CONT. /0.9M O.C. SPACING
DESCHAMPSIA CESPIIOSA	TUFFED HAIR GRASS	6	#01 CONT. /0.9M O.C. SPACING
ECHINACEA 'MAGNUS SUPERIOR'	MAGNUS SUPERIOR CONEFLOWER	6	#01 CONT. /0.9M O.C. SPACING
HOSTA 'HALCYON'	HALCYON HOSTA	6	#01 CONT. /0.9M O.C. SPACING
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	9	#01 CONT. /0.75M O.C. SPACING
NETETA X FAASSENII 'WALKERS LOW'	WALKER'S LOW CATMINT	4	#01 CONT. /1.2M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2	#01 CONT. /1.5M O.C. SPACING
PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	5	#01 CONT. /1.0M O.C. SPACING
SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	6	#01 CONT. /0.9M O.C. SPACING



PROJECT TITLE

920 RUTLAND ROAD

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

NO.	DATE	REVISION
1	22.06.27	Review
2	22.10.28	Review
3	22.11.04	Review
4	24.05.29	Review
5		

PROJECT NO. 22-0629

DESIGN BY PH

DRAWN BY PH

CHECKED BY AM

DATE MAY 29, 2024

SCALE 1:100

PAGE SIZE 24x36"

SEAL

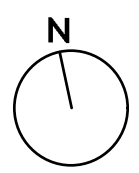
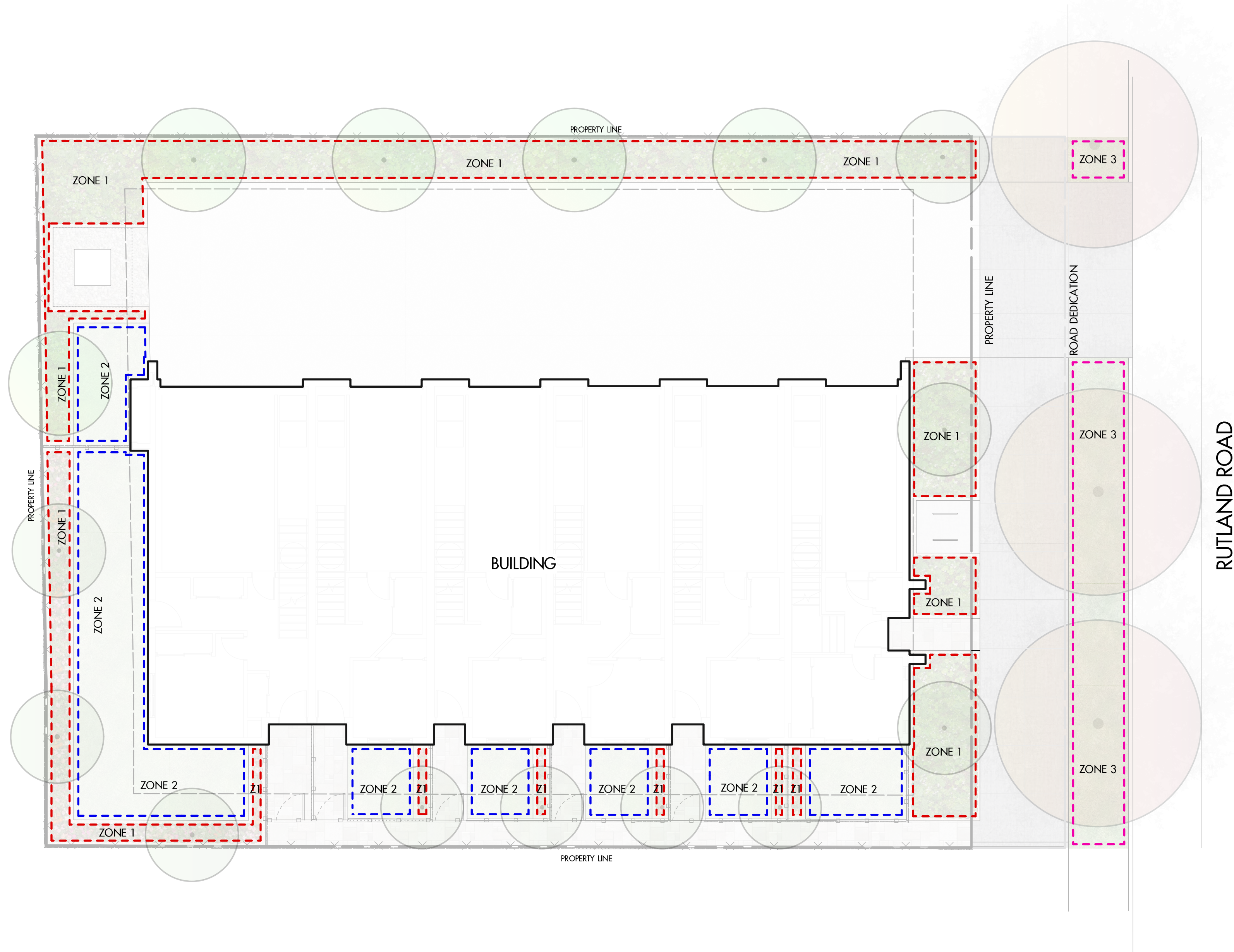


DRAWING NUMBER

L 1/2

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PROJECT TITLE
920 RUTLAND ROAD

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION/
 IRRIGATION PLAN**

ISSUED FOR / REVISION

1	22.06.27	Review
2	22.10.28	Review
3	22.11.04	Review
4	24.05.29	Review
5		

PROJECT NO. 22-0629

DESIGN BY PH

DRAWN BY PH

CHECKED BY AW

DATE MAY 29, 2024

SCALE 1:100

PAGE SIZE 24x36"

SEAL



DRAWING NUMBER

L2/2

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IRRIGATION NOTES

- IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
- THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
- THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
- AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
- DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
- IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
- IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
- A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

IRRIGATION LEGEND

- ZONE #1:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 121 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
 ESTIMATED ANNUAL WATER USE: 40 cu.m.
- ZONE #2:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 82 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY BUILDING & TREES
 ESTIMATED ANNUAL WATER USE: 70 cu.m.
- ZONE #3:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 38 sq.m.
 MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 33 cu.m.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 149 cu.m. / year
 ESTIMATED LANDSCAPE WATER USE (WU) = 143 cu.m. / year
 WATER BALANCE = 6 cu.m. / year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS